



THE NEIGHBOURHOOD ESTATE

ARCHITECTURAL DESIGN RULES

Applicable to Residential 1 and Residential 2 stands within The Estate

Version 12

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NDRP reserves the right to amend this document from time to time

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GLOSSARY OF TERMS

“Association” means The Neighbourhood Homeowners Association non-profit company;

“architect” means the architectural professional registered with SACAP employed by the owner to prepare the plans;

“construction control officer” means any person appointed by the Board, to undertake any functions of the Association;

“common property” means any erven or portions thereof including roads, in the Estate owned or to be owned by the Association;

“common property improvements” means any buildings, structures, lights, landscaping, irrigation, driveways, parking areas, pathways, security installations and equipment located within the common property;

“common property services” means any roads, sewerage, potable water, electrical infrastructure and street lighting located within the common property;

“construction commencement certificate” means the certificate issued by the Association authorising that the construction of the house/ any property improvements as shown on the plans may commence;

“construction completion certificate” means the certificate issued by the Association confirming that the construction of the house/ property improvements as shown on the plans has been completed to the satisfaction of the Association;

“construction period” means the period between the issue of the construction commencement certificate and the issue of the construction completion certificate;

“contractor” means the contractor employed by the owner to carry out the construction of the property improvements and includes any sub-contractors, specialist contractors, suppliers and/or delivery contractors who may, from time to time, come onto the Estate to provide services to the contractor and/or to the owner;

“design rules” means The Neighbourhood Architectural and Landscape Design Guidelines as amended;

“developer” means Huddle Investments Proprietary Limited registration number 2011/010387/07 and its successors in title or assigns;

“house” means the house forming part of the property improvements;

“ERF” means any property or portion thereof in the Estate, registered in the name of an owner whether or not such erf or portion has been developed

“Estate” means The Neighbourhood Estate;

“**NDRP**” means the Neighbourhood Design Review Panel as appointed by the Association;

“**landscaping**” means any landscaping, irrigation, ponds and water features on the property;

“**Local Authority**” means the City of Johannesburg Metropolitan Municipality

“**memorandum**” means the memorandum of incorporation of the association;

“**owner**” means any person, company, closed corporation or trust reflected in the records of the Registrar of Deeds as the registered owner of a property;

“**natural ground level**” means the original undisturbed ground level of the property (i.e. the surveyed level prior to site handover)

“**park spaces**” means the landscaped private open space stands which form the internal park network. These are further subdivided into “primary park spaces” and “secondary park spaces”. A “primary park space” is that park that a property faces onto. A “secondary park space” is generally adjacent to the lateral boundary of a property. The NDRP may be consulted for further clarity.

“**perimeter security installation**” means any walls, fences and related security equipment enclosing the Estate;

“**plans**” means the plans, specifications and related details required for the purposes of the construction of any house/property improvements;

“**property**” means any erf or portion thereof in the Estate, registered in the name of an owner whether or not such erf or portion has been developed;

“**property improvements**” means any structure, swimming pool, boundary wall/fence, garden wall/fence, landscaping, driveway, parking area, external paving/tiling/hard surfacing, external lighting, generator, solar or other panel, camera, post box, water or other storage tank, antenna/satellite/receiver dishes, solar panel/roof light, air conditioners/evaporative cooling/heat pump, burglar alarm, sound system and anything else situated on the property which is externally visible;

“**residential 1**” means a full title residential erf with zoning designation ‘Residential 1’ as issued by the local authority;

“**residential 2**” means a residential erf with multiple residential opportunities with zoning designation ‘Residential 2’ as issued by the local authority;

“**occupation certificate**” a certificate issued by the local authority confirming that the house may be occupied;

“**review architect**” a person appointed by the association to the NDRP

1. INTRODUCTION

The Estate presents an opportunity to live in an environmentally diverse park land located within the confines of a perimeter security zone in close proximity, via the Linksfield interchange, to the major regional and national road network.

It is surrounded by many established schools, retail and medical facilities and bordered by Huddle Park Golf Club.

A new retail centre and an apartment complex are planned directly across the road from the Estate gatehouses.

Whilst the Design Rules allow for a fairly broad range of personal choice there are certain critical unifying external elements to the houses in the plan and form, materials and colours of the roofs and the external wall materials, textures and colours. These have been chosen so as to create a recessive built form which tends to merge with the natural landscape on the Estate rather than contrast with it.

The architecture and landscaping in the Estate are intended to be contextually sympathetic to the cultural heritage of this part of Johannesburg and to the topography and other natural features of the Estate itself, thereby creating a unique cohesive architectural character which does not copy and takes full advantage of the specific characteristics of the Estate whilst providing for the use of modern and environmentally friendly building materials.

It is important that owners and architects comply with the Design Rules as they have been formulated with the express objective of producing an overall look and feel in the Estate which is in the best collective interest of all owners and residents generally.

The NDRP's decision in terms of these Design Rules will be final and binding on all parties.



MASTERPLAN

The Neighbourhood

FIGURE 1_MASTERPLAN OF THE ESTATE



PHASES & TOWNPLANNING

The Neighbourhood

FIGURE 2_MASTERPLAN OF THE ESTATE SHOWING PHASING & PROPERTY TYPES



FIGURE 3_MASTERPLAN OF THE ESTATE SHOWING PRIMARY & SECONDARY PARK ALLOCATIONS

1.1 STATUS & APPLICABILITY OF DESIGN RULES

The Design Rules apply to the development of all Residential 1 properties in the Estate and are contractually binding on all owners who together with their architects should carefully study the contents hereof.

The Design Rules must be read in conjunction with the National Building Regulations [SANS 10400] and the requirements of the Local Authority and any other relevant statutory authority in the Republic of South Africa.

Should the National Building Regulations [SANS 10400] and/ or the requirements of the Local Authority and/ or any other relevant statutory authority in the Republic of South Africa contain requirements which are not included in the Design Rules then such other requirements shall also apply.

It is the sole responsibility of the owner and/or the architect to ensure that they are in possession of the current version of the Design Rules and all related documents. The Design Rules may be amended from time to time at the absolute discretion of the Association.

All Home Owners must comply with the architectural guidelines and conduct rules applicable to the Estate. In the event that the Owner sought concession which deviates from the said guidelines, a separate application and motivation is to be submitted for consideration by the NDRP

Should approval be granted by the NDRP, it will not constitute to an amendment or variation to the architectural guidelines with regards to the item above

Thus it is to be noted that any approval granted that is in contravention of the architectural guidelines and conduct rules will not be permitted and will be required to be remedied [this includes removal thereof] on demand and at the cost of the Home Owner without any right of recourse against the NDRP or NHOA.

1.2 THE NEIGHBOURHOOD DESIGN REVIEW PANEL (NDRP)

The Association shall appoint the NDRP to assist owners and architects during the design process and thereafter to review the plans submitted for approval.

The NDRP will comprise of at least one SACAP registered review architect, the construction control officer and any other persons as may be appointed by the Association from time to time.

No construction of property improvements may commence prior to approval of the plans by the NDRP and the Local Authority and before the construction commencement certificate has been issued.

Each plan and related submission will be considered on merit and approval or rejection thereof will be at the absolute discretion of the NDRP.

1.3 APPOINTING AN ARCHITECTURAL PROFESSIONAL

House plans must be prepared by an architectural professional (henceforth referred to as “architect”) registered with and in good standing with the South African Council for the Architectural Profession.

Unless indicated to the contrary the construction control officer, the NDRP and the Association will communicate directly with the architect in respect of matters related to the Design Rules.

1.4 USE OF GREEN BUILDING AND ENERGY EFFICIENT PRACTICES

As a minimum, the architect is obliged to meet the standards of the latest SANS10400 regulations including part XA.

Green building and energy efficient practices are encouraged for any property improvements including but not limited to the following:

- Smart metering
- Water saving taps and shower heads
- Covers for swimming pools
- Dual flush toilets
- Water efficient washing machines and dish washers
- Drip irrigation with time-based controllers
- Rainwater harvesting
- Grey water harvesting
- Solar PV [including battery storage]
- Solar heating
- Heat pumps
- CFL or LED lighting with motion sensors/timers
- Timber wood burners for heating
- Evaporative cooling rather than air-conditioning
- Insulated walls, floors and roofs
- Endemic and water wise landscaping strategies are encouraged (Refer to the Landscape Design Guidelines)
- Materials with low VOC levels are encouraged

2. APPROVAL PROCESS

2.1 PLAN APPROVAL PROCESS:

Architects must submit stage one and stage two plans to the NDRP for approval. Thereafter plans may be submitted to the Local Authority.

A scrutiny fee (amount as per latest application form) is payable by the owner to the Association before queries will be responded to and before the plans are scrutinised. The NDRP will allow for two rounds of amendments per stage following the initial submission. Thereafter, should additional plan approval submissions be necessary an additional scrutiny fee (amount as per latest application form) per submission is payable by the owner to the Association before the plans are scrutinised further. All fees are subject to a 10% annual increase at 1st April each year.

The NDRP will endeavour to respond to each application within 10 working days from date of submission.

Each plan must have a title block reflecting:

- Erf number
- Owners name(s)
- Architect's/ engineer's name(s) together with SACAP/ECSA registration number
- Date and revision number
- Title (elevation, floor plan, etc.) & scale

A two-stage submission process allows architects to review the design at concept stage before it is developed in more detail. The stage 2 technical submission requires specific technical information to ensure the proposed design complies with the Estate Design Rules. Architects may elect to combine stage 1 and 2 submissions.

The NDRP endeavours to highlight all items that do not comply, however despite approval at stage 1 or stage 2, **the NDRP reserves the right to reject non-compliant elements at construction phase. Rectification of such non-compliance will be to the cost of the owner.**

2.1.1 STAGE ONE – CONCEPT SUBMISSION TO NDRP

The purpose of this stage is to check whether the concept design aligns with the Design Rules, and appropriately responds to the site constraints, before the design is developed further.

2.1.1.1 Submission drawing set: Concept plan at min 1:100

Submission drawing set:

- One application form completed & signed
- One digital copy signed by both the architect and the owner is required.
- This concept plan must be submitted via the construction control officer to the NDRP.
- The physical characteristics (including services above and below ground and connections) of the property and its surrounds should be carefully

studied by the architect so as to optimise the position, orientation and form of the house/property improvements in the context of the Design Rules and in order to be able to connect to the relevant common property services.

- A land survey, and beacon certificate, by a registered land surveyor, not older than 12 months, is required. All trees to be shown as per survey. Any trees that need to be removed, permission MUST be applied for at stage 1. Please note some trees may not be removed.

The following drawings at a scale 1:100 is to accompany the submission:

- Site plan
- Plans
- Elevations
- At least one section
- 2 perspectives [for this submission the perspectives are not required to be rendered]
- A maximum of 4x A1 sheets are to be submitted

Please note that sample images of the proposed finishes are to accompany the submission. These may be included on the elevations sheet.

Please also include a note regarding the specific glazing exclusions on the elevations sheet:

1. Reflective or any coloured glass.
2. Stained glass or lead light glazing.
3. Sandblasted or vinyl/ coated glass patterning.

2.1.2 STAGE TWO – TECHNICAL SUBMISSION TO NDRP

The purpose of this stage is to check the full detailed design against the Design Rules prior to submitting to the Local Authority.

Submission drawing set:

- One application form completed & signed
- One digital submission at maximum A1 page size of all relevant drawings signed by both the architect and the owner are required.
- Once approved, one full set of scale prints must be submitted to the NDRP for stamping prior to Local Authority submission
- All of the following drawings must be submitted and any partial submissions will not be scrutinised.

2.1.2.1 Detailed architectural design and working drawing plans at min scale 1:100 – this must include, but is not limited to, the following:

a) Site plan (at min scale 1:200) indicating:

- Boundary lines, building lines and servitudes.
- Boundary walls & heights measured from NGL.
- Access points and driveways showing dimensions and materials.
- Parking areas both covered and open, if applicable, showing dimensions and materials.
- Position and screening of laundry drying yards, enclosed gardens and landscaped areas.
- Position and type of any existing trees, lamp posts, stormwater inlets, street signs etc.
- Details of any existing trees for which an application to remove is to be made.
- Position of the house - different elements must be easily identifiable.

- Accurate contours as reflected in the detailed site survey prepared by a registered land surveyor with 0.5m intervals showing the natural ground level prior to any excavation or earthworks.
- Floor and roof heights and landscape/ terrace levels relative to natural ground level, number of storeys and details of basements, if applicable.
- Erf numbers of adjacent properties as well as adjacent street names.
- Retaining walls
- Permitted coverage vs. Actual coverage.
- Permitted floor area ratio vs. Actual floor area ratio.
- For residential 2 stand submissions an overall masterplan indicating the layout of all the residential 2 stands must be provided at a min. scale of 1:1000)
- A maximum of 6x A1 sheets are to be submitted

b) Minimum two 3D rendered perspectives in colour (view from street & view from park/ rear) indicating the following:

- Materials, finishes and colours of all external elements must be easily identifiable.

c) Minimum four x 3D diagrams showing (information may be split across the diagrams):

- the building within site constraints:
 - Dimensioned/ overall building height, building lines, coverage, FAR, height restriction, cut & fill dimensions, boundary walls etc

d) A Stormwater Management Plan at an appropriate scale including but not limited to the following:

- Any piped reticulation & discharge position
- Direction of stormwater surface flow
- Stormwater discharge onto adjacent properties. – This may not be concentrated, thus weepholes are to be provided to NDRP approval.
- Any proposed discharge of daylighted stormwater onto park spaces and/ or common property.
- No stormwater may be discharged into any sewer drain or onto the common property.



FIGURE 4 – TYPICAL EXAMPLE OF A 3D VIEW, DEMARCATING SITE CONSTRAINTS

2.1.3 STAGE THREE – LOCAL AUTHORITY

After stage two approval has been obtained from the NDRP, the detailed plans must be submitted by the owner's architect to the Local Authority for approval. (note: NDRP does not facilitate this submission)

- Stage two approval from the NDRP does not guarantee Local Authority approval.
- The Local Authority will require payment of a scrutiny fee.
- After the Local Authority has approved the plans the architect shall provide the NDRP with a full set of such plans as stamped as approved by the Local Authority for the records of the Association.

2.1.4 STAGE FOUR - LANDSCAPING PLAN

Prior to the commencement of any landscaping, the landscaping plan must be submitted to the NDRP for approval. Refer to the Landscape Design Rules.

Before a certificate of completion will be issued by the NDRP, landscaping as per the approved landscaping plan must be in place.

2.1.5 STAGE FIVE – EXTERIOR LIGHTING PROPOSAL

Before any electrical fittings have been installed, an exterior lighting scrutiny is to be conducted by the NDRP or construction control officer for written approval.

- An electrical plan and images of all external light fittings must be submitted to the NDRP for approval.

2.1.6 STAGE SIX – PAINT COLOUR & EXTERNAL FINISHES APPROVAL

a) Roof covering materials

Prior to ordering any roof covering materials the contractor must make the necessary arrangements for the construction control officer to inspect a sample of such material at the property to ensure that it complies with the Design Rules.

b) Driveway and parking area paving

Prior to ordering any driveway and parking area paving, the contractor must make the necessary arrangement for the construction control officer to inspect a paving sample at the property to ensure that it complies with the Design Rules.

c) External finishes and wall colours

Prior to painting and/or cladding any external walls and/or boundary walls the contractor must make the necessary arrangement for the construction control officer to inspect a sample of such materials at the property to ensure that they comply with the Design Rules. In the case of paint colours the contractor shall prepare a sample panel of at least 1m² of the colour/s concerned for approval by the NDRP.

d) Services equipment

Prior to the erection of any services equipment (such as antennae, satellite, receiver dishes, air conditioners or evaporative cooling equipment) the contractor must make the necessary arrangement for the construction control officer to inspect such equipment and the intended location thereof to ensure that they comply with the Design Rules. The following rules apply:

- Window mounted equipment is not permitted.

- Roof mounted equipment is permitted provided that it is screened from view.
- Wall mounted equipment is permitted provided that the compressor is mounted at ground level and is screened from view from outside of the property.
- The equipment must be insulated in such a way as to minimise noise pollution.

2.1.7 STAGE SEVEN - AS BUILT PLANS

- Prior to the construction completion certificate being issued, as built plans must be submitted via the construction control officer to the NDRP.
- Prior to occupation, a signed SANS 10400 Form 4 from the architect is to be submitted via the construction control officer to the NDRP.
- Any deviations from the approved plans to be submitted to the NDRP before construction. Any deviations that are non-compliant, that are constructed without submitting to the NDRP, will not be considered

2.2 INSPECTIONS & MEETINGS

In instances where inspections/ meetings are required, the owner, architect or contractor concerned must contact the construction control officer in writing at least 48 hours in advance when requesting such inspection/meeting.

2.3 QUALITY & MAINTENANCE

It is expected that the construction & finishes of the owner's buildings will be of acceptable, high quality that will be long lasting. If the quality is not up to the standards of the Estate, or should the owner's building require maintenance, the construction control officer and thereafter, the Home Owner's Association are within their rights to instruct the owner of such property to rectify or maintain their property.

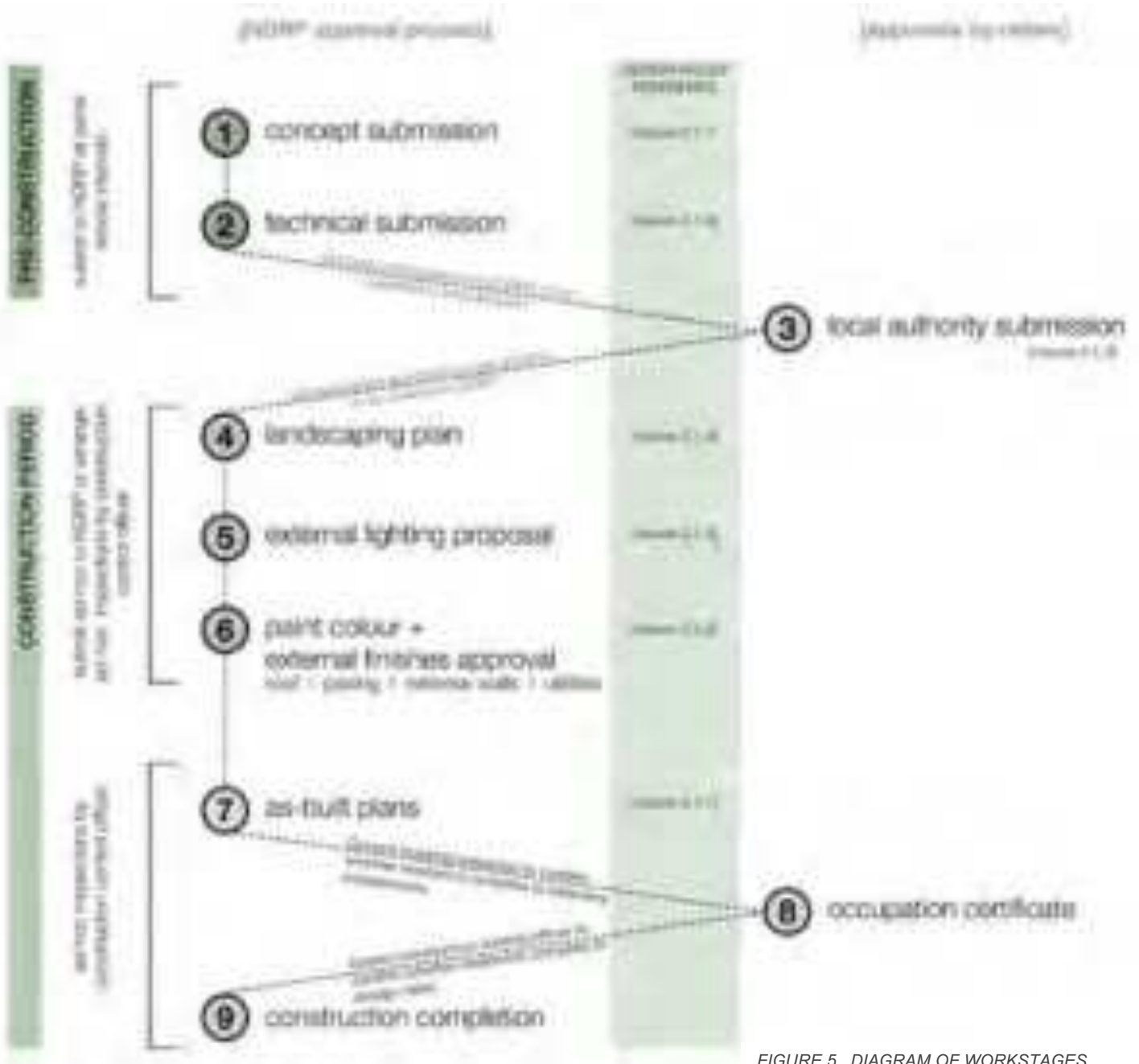


FIGURE 5_ DIAGRAM OF WORKSTAGES

3. DESIGN PLANNING CONTROLS

3.1 PLANNING FRAMEWORK

3.1.1 Use

- These Design Rules apply specifically to stands with a Residential 1 and Residential 2 land use.
- No property may be used for any purpose which does not comply with the Land Use as stipulated by the Local Authority.

3.1.2 Zoning

- The Estate falls under the provisions of the Johannesburg Town Planning Scheme and these town planning controls apply to all Residential 1 and 2 erven within the Estate. The NDRP may elect to impose design rules that are more severe than the JHB Town-planning Scheme
- The NDRP specifically dictates that the following areas are to be included in FAR & Coverage calculations:
 - Garages
 - Covered verandahs
 - Basement areas

a) **FAR** - Calculated as the total floor area of the residence, divided by the area of the stand

- Permissible Floor Area Ratio (FAR) – 1.2

b) **Coverage** – Calculated as the total ‘footprint’ (any roofed areas), divided by stand area, reflected as a percentage

- Single storey houses – 60%
- Double storey houses – 50%

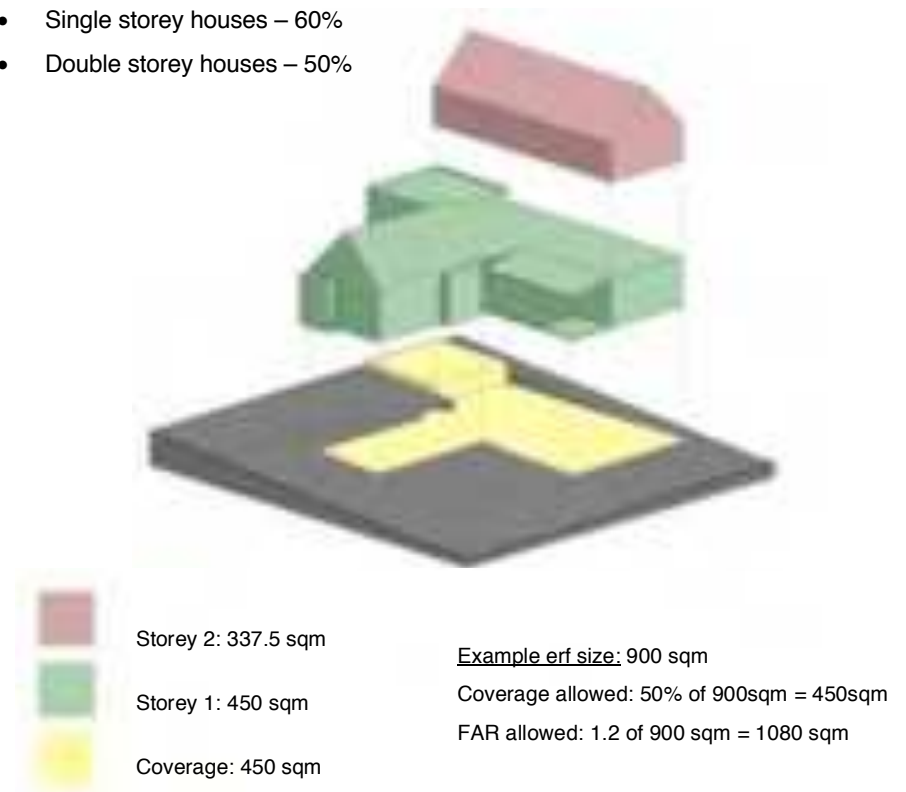


FIGURE 6_DIAGRAM INDICATING AN EXAMPLE OF CALCULATING THE COVERAGE AND FAR

c) Ground floor vs First Floor ratio

Residential 1 zoning:

The maximum permissible first floor area for a double storey house is 75% of the covered ground floor area. This is to ensure that the architecture does not become monolithic but is rather articulated as a collective of smaller forms. The area of the first floor for the purpose of this ratio calculation must include all double volumes and staircases and covered balconies.

Residential 2 zoning:

Where a stand has residential 2 zoning, and the overall house area is less than 200m², the maximum permissible first floor area for a double storey house is 85% of the covered ground floor area.

Balconies enclosed on three sides; visually adds to the structures mass on the first floor. It would therefore need to be added to the first floor area, when calculating the first floor/ground floor ratio

3.1.3 Subdivision and consolidation of properties

- A dwelling size of no less than 150 sqm will be permitted.
- No more than one dwelling is allowed per erf on a residential 1 stand.
- A domestic staff dwelling no greater than 100 sqm may be constructed on the erf.
- No subdivisions are permitted on residential 1 stands.
- Consent for the consolidation of a maximum of two properties will be considered on merit by the NDRP.

- A consolidation application must be submitted to the Local Authority for approval.
- Should a consolidation be permitted by the Local Authority, such consolidated property shall pay two levies as if it was still two separate properties.
- Where a residential 2 stand is subdivided into full title stands, each dwelling will be evaluated on an individual basis. All subdivisions of a residential 2 stand are subject to local authority approval.



FIGURE 7 DIAGRAM SHOWING A TYPICAL EXAMPLE OF MAXIMUM ALLOWABLE FIRST FLOOR AREA FOR A HOUSE WITH RESIDENTIAL 1 ZONING.

3.1.4 Building Lines – no buildings/ structures zone

- No buildings, structures or swimming pools may be built beyond the property's building line.
- Building line relaxations may be considered on merit by the NDRP. A building line relaxation motivation and application must be made to the NDRP for recommendation. Permission is required from neighbours. The application must be submitted to the Local Authority for approval.
- Roof overhangs that are 600mm or less may protrude over the building line. For roof overhangs more than 600mm, the first 600mm may protrude over the building line and any further overhang must be set back from the building line. (refer to figure 8)
- In addition to the aforesaid building lines, other servitudes may be imposed by the Association, the Local Authority, or the developer and it is incumbent upon the owner to carefully peruse the contract of the sale, to ascertain whether any further building lines are applicable to the property.

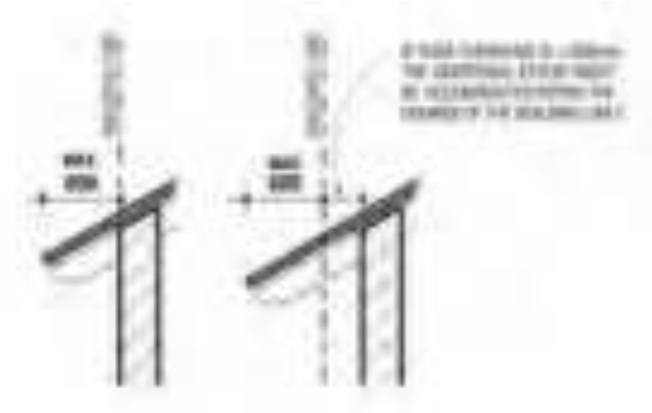


FIGURE 8 – DIAGRAM SHOWING ROOF OVERHANGS PERMISSIBLE ACROSS BUILDING LINES

The following building lines are applicable to all properties:

- Street frontage other than Club Street**
 - A 3m building line must be applied to and along street boundaries.
- Street bounding Club Street**
 - A 5m building line must be applied to and along Club Street boundaries.
- Side & Rear boundaries**
 - 2m



FIGURE 9 DIAGRAM INDICATING TYPICAL BUILDING LINE SCENARIOS FOR NON-PARK-FACING BOUNDARIES.

d) Primary Park Boundaries (refer to figure 10)

- A 3 meter building line and planting zone must be applied to that boundary of the erf abutting primary park spaces owned and controlled by the Association.
- The NDRP dictates which is the primary park boundary. Refer to Figure 3 for all primary & secondary park boundary allocations.
- Notwithstanding the zoning of the erf, no construction may be executed within this 3 metre zone, including but not limited of to any verandahs, balconies, patios, staircases, pergolas, built-in braais, retaining walls or any other structures.
- Planting in this 3m planting zone must comply with the Landscape Design Guidelines

e) Lateral/Secondary Park Boundaries (refer to figures 9 & 10)

- A 2m building line and planting zone must be applied to that boundary of the erf abutting secondary green spaces owned or controlled by the NDRP.

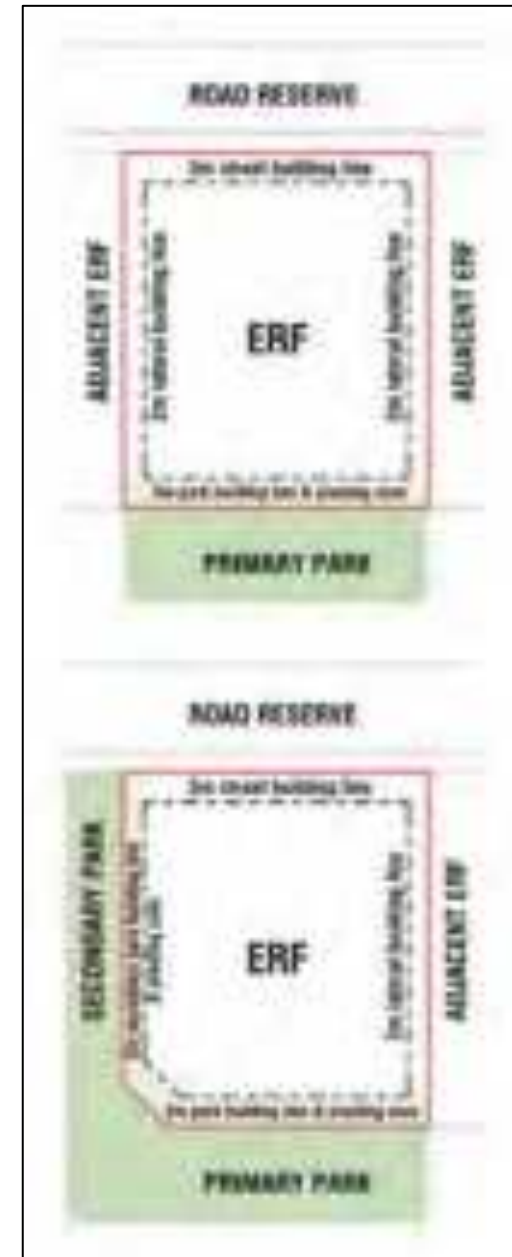


FIGURE 10_DIAGRAM INDICATING BUILDING LINE SCENARIOS ON VARIOUS COMMON PARK SPACES.

f) Building Lines on Residential 2 stands

- Where multiple dwellings are applied on a residential 2 stand, the following building lines will apply to the overall property boundary:
 - A 3m building line must be applied to and along street boundaries.
 - A 5m building line must be applied to and along Club Street boundaries.
 - A 2m building line must be applied to and alongside and rear boundaries.

- Where the residential 2 erf is subdivided into exclusive use areas, with internal area divisions, no building line applies to the lateral demising lines, subject to local authority approval.

- Where a residential 2 property is subdivided into full title stands, a 1m building line applies to the lateral demising property boundaries, subject to local authority approval.



FIGURE 11 DIAGRAM INDICATING BUILDING LINE ON RESIDENTIAL 2 ERF.



FIGURE 12 DIAGRAM INDICATING BUILDING LINE ON SUBDIVIDED RESIDENTIAL 2 ERF.

3.1.5 Storeys/ Heights

a) Maximum Heights:

- A maximum of 2 storeys is permitted above NGL provided that the top of the roof does not exceed 10m above natural ground level measured vertically below such point anywhere on the property. The 10m limit includes protruding basements.
- Roof space may be used for storage, however a habitable mezzanine/loft space will be considered a storey

b) Basements:

- A habitable basement does not count as a storey provided that it does not protrude above natural ground level by more than 1.5m as measured vertically from any point on the building's perimeter.
- Should the basement protrude more than 1.5m, it shall be considered a storey.

Where the overall height of the building is on the maximum limit, the roof construction must be carefully considered and resolved. No infringements will be considered



FIGURE 13_ DIAGRAM ILLUSTRATING THE HEIGHT RESTRICTION MEASURED CONTIGUOUS TO THE NATURAL GROUND LEVEL (PRIOR TO ANY EARTH WORKS)

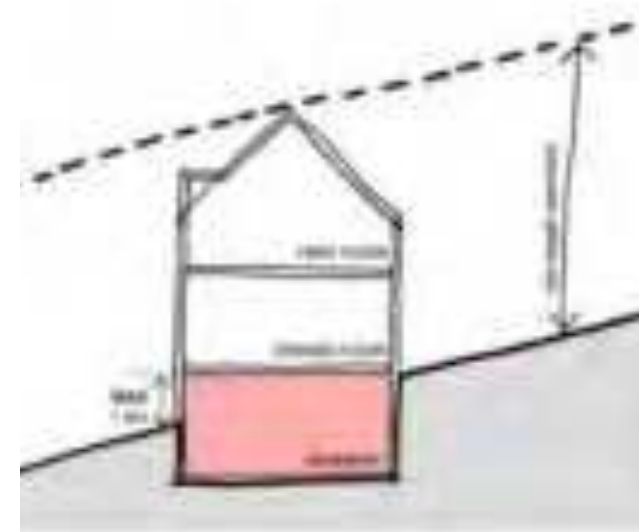


FIGURE 14_ BASEMENTS AND HEIGHT RESTRICTIONS

3.2 DESIGN FRAMEWORK

Houses should be seen as a series of forms whereby each forms' location, height and scale responds and adjusts to the natural topography. Large scale cut and fill is seen as unsympathetic and should be avoided.

3.2.1 Scale and proportion

The scale of the buildings must be appropriate to the erf size and building typology. Building elements must be appropriately proportioned to achieve a harmonious whole.

3.2.2 Street interface, building orientation & existing features

- a) In order to maintain an intimate street scale, it is recommended that houses are positioned as close to the street building line as possible.
 - Houses must be aligned parallel to or perpendicular to the street from which they gain access unless such orientation is differently prescribed in terms of the regulations as contained in SANS10400.
 - In cases of irregular shaped and panhandle properties the NDRP may waive these requirements.
- b) It is imperative that the residence fits comfortably into the natural contours.
- c) Appropriate orientation of the residence is encouraged to optimise passive temperature and light control to interiors.
- d) The design of the dwelling and other structures on the erf should show a special sensitivity to the existing natural features, flora and topography.

- **The Estate contains many existing, established trees. The developer encourages owners to retain all trees and design accordingly where possible.**
- Certain identified trees are considered protected species. An application and motivation must be made to the NDRP for the removal of these trees.
- The site diagrams provided to owners do not indicate all trees that may exist on the site but rather those that contribute to the intrinsic value of the unique environment of this development and must be retained where possible.

3.2.3 Privacy

- a) The design philosophy of the development promotes an outdoor lifestyle, where living areas are integrated with the surrounding landscape. Landscape features may be used to increase the privacy between dwellings, while maintaining access to green open space.
- b) Sensitivity must be displayed towards neighbouring erven and so individual residences are to be sited so as not to compromise the privacy of neighbours.
- c) No balconies or rooftop terraces are to be positioned overlooking neighbouring erven unless provision is made for a screening element.

3.2.4 Boundary Walls/ Fencing

The Estate’s perimeter will be walled and electrified to ensure a secure environment. A low boundary walling condition is encouraged around individual erven so as not to encourage a culture of territorial encampment, but rather to ensure the openness of secure community living.

- Low “werf” walls are encouraged as a means of defining spaces rather than securing them.
- Electrified fencing on any boundary wall/fence other than the perimeter security installation is not permitted.

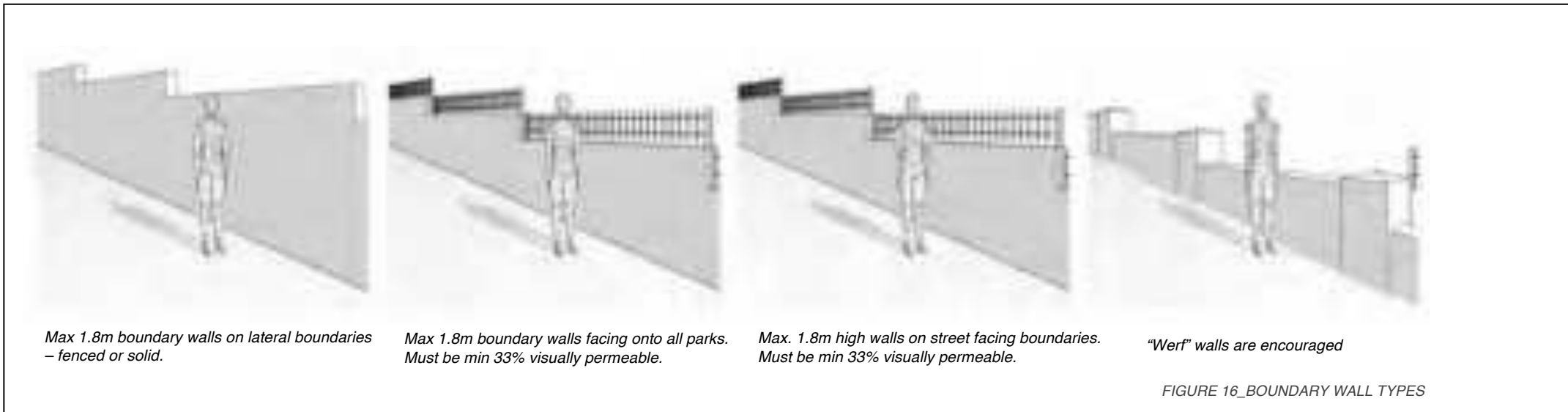
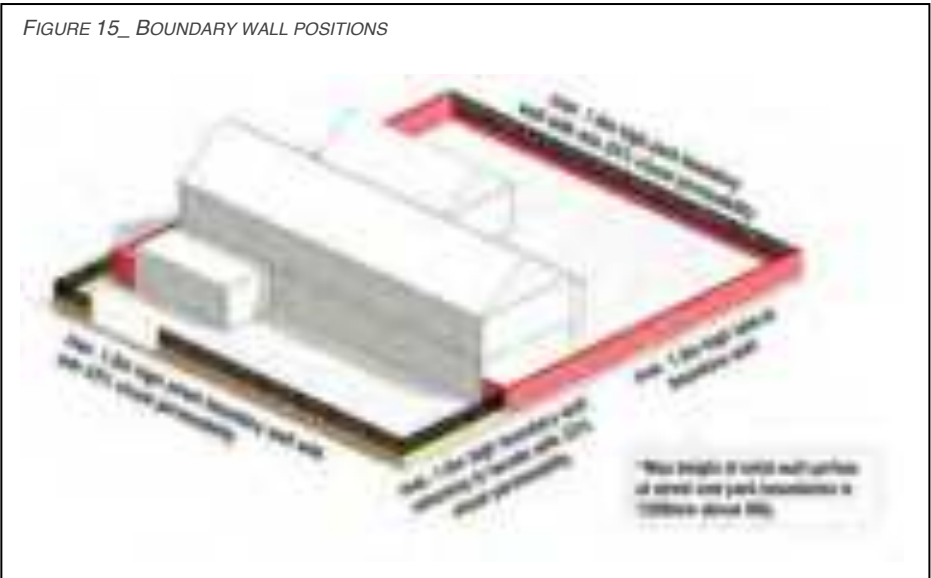


FIGURE 16_BOUNDARY WALL TYPES

- a) **Street boundary walls** are permitted provided they do not exceed a maximum height of 1.8m vertically above natural ground level at any point and provided they are at least 33% visually permeable in the vertical plane. Street boundary walls are discouraged to create a more open street environment. The position of 1.8m solid boundary walls on the lateral boundaries must be set back in line with the main building structure to allow for a varied street interface.
- b) **Lateral & rear boundary walls** are permitted provided they do not exceed a maximum height of 1.8m measured vertically above natural ground level at any point. Such 1.8m high walls must return/ stop at the primary face of the building. These walls are intended to screen washing lines and other services and create privacy between erven. Structures between the building line and the boundary must comply with the lateral boundary wall rules.

- c) **Primary and secondary park boundary walls** are permitted provided they do not exceed a maximum height of 1.8m vertically above natural ground level at any point and provided they are at least 33% visually permeable in the vertical plane.



FIGURE 17_ EXAMPLES OF PERMISSIBLE BOUNDARY TYPE POSITIONS

d) Stepping Walls:

- Perimeter walls must be stepped to follow the natural ground level.
- A 15% height extension is permitted to allow for stepping of the wall to suit the slope of the ground as follows:
 - A 1.8m wall visually permeable wall is permitted to exceed the height restriction by 270mm at the point of stepping
 - A 1.8m wall is permitted to exceed the height restriction by 270mm at the point of stepping.

e) Wall & Fence Materials:

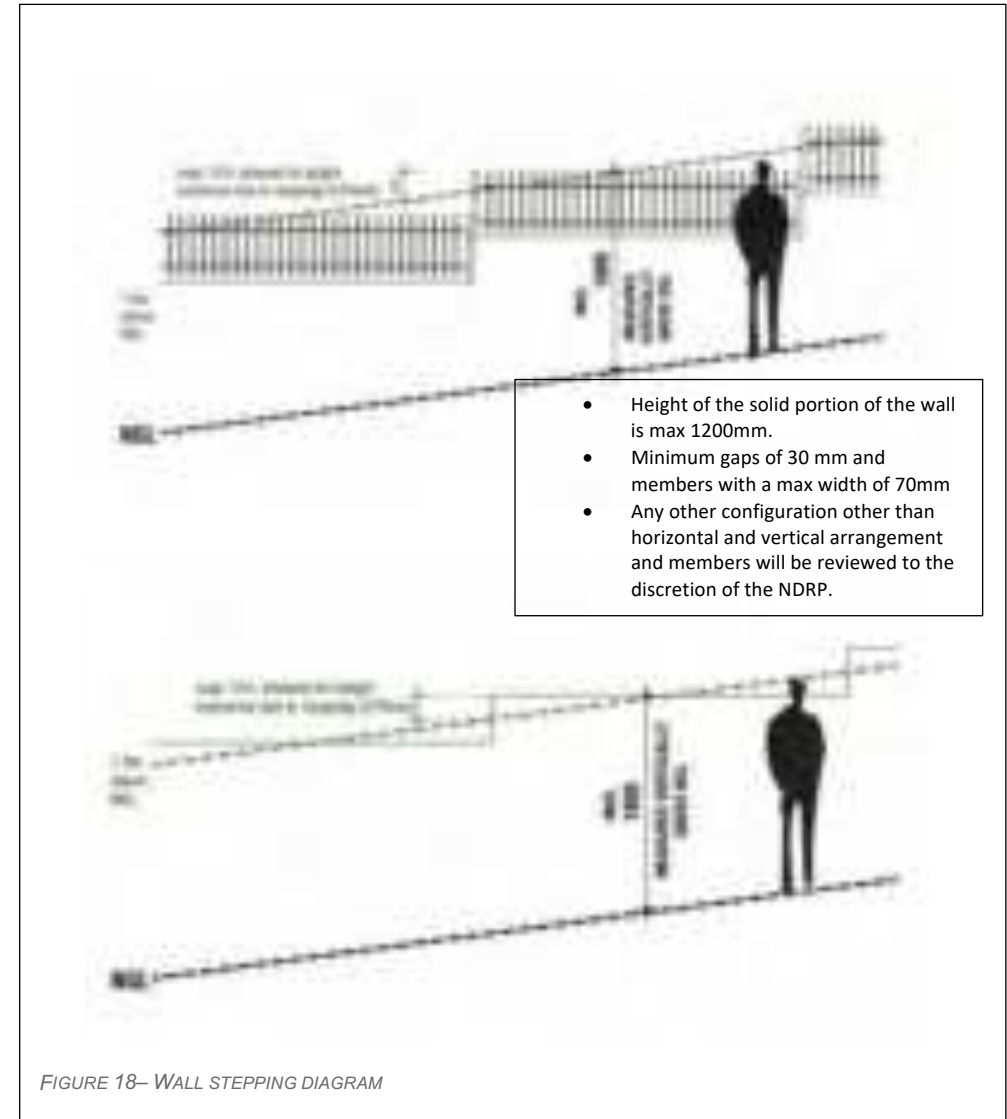
- As per chosen style from Aesthetic Rules
- Fencing could be wrought iron, steel or welded mesh with simple geometric design (unnecessary ornamentation will not be permitted)

f) Wall & Fence Colours:

- Walls as per chosen style from Aesthetic Rules
- Fences: charcoal/ black/ grey or treated timber
- Any other colour may be reviewed and considered with a motivation from the applicant and the sole discretion of the NDRP

g) Visually permeable walls:

- Height of the solid portion of the wall is max 1200mm.
- Minimum gaps of 30 mm and members with a max width of 70mm
- Any other configuration other than horizontal and vertical arrangement and members will be reviewed to the discretion of the NDRP.



3.2.5 Terracing & Retaining Walls

Terracing across the fall of the site may be required to create suitable platforms for the construction of a house. A balanced cut and fill of material is required. Tall vertical retaining walls visible from adjacent properties or the common property are not permitted. Designs will be evaluated on a case by case basis.

- The height restrictions pertaining to the house and perimeter walls are measured relative to NGL, not new terrace levels.
- An allowable maximum height of any retaining wall is 1.2m.
- It is recommended that retaining walls are concealed by bermed earth and planting.
- No “Loffelstein” retaining structures are permitted.
- The estate perimeter wall cannot accommodate any earth retaining. The platform levels adjacent to the estate perimeter wall must return to NGL. Furthermore, no weepholes in the estate perimeter wall may be blocked by construction, landscaping or terracing on the adjacent even.

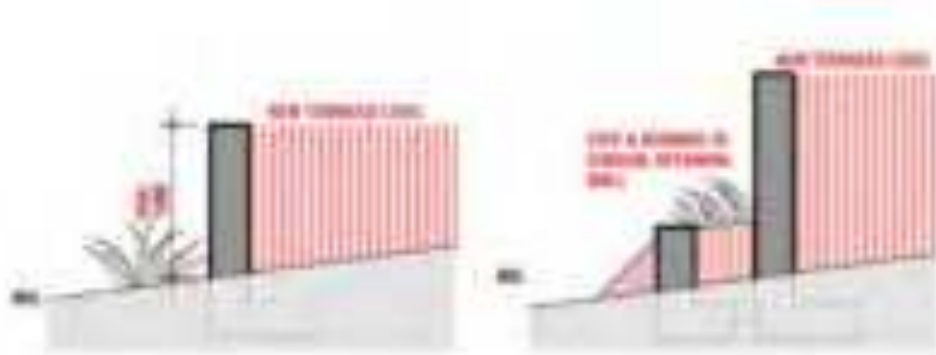


FIGURE 19_DIAGRAM INDICATING PERMISSIBLE RETAINING STRUCTURES USING THE 1.2M MAX. HEIGHT RULE

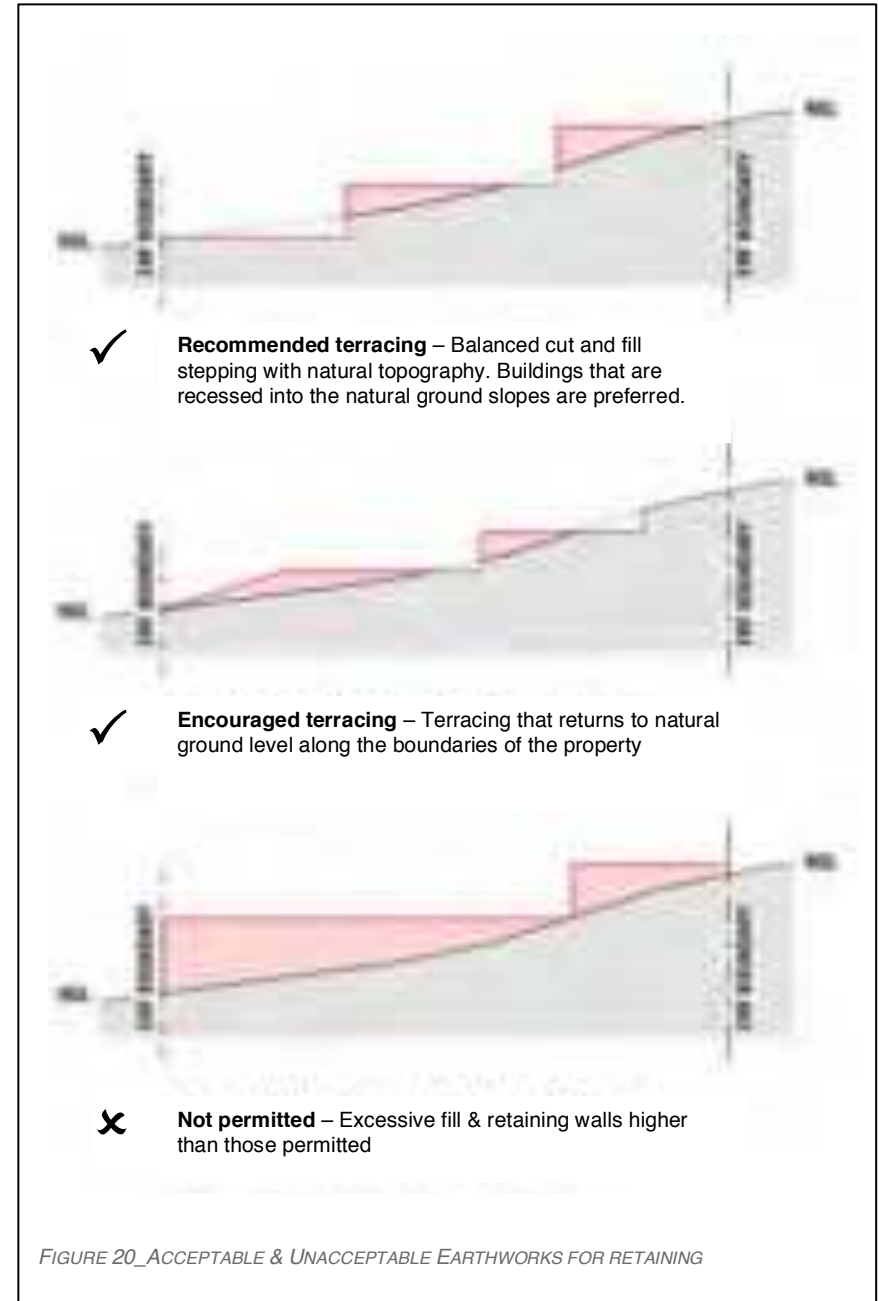


FIGURE 20_ACCEPTABLE & UNACCEPTABLE EARTHWORKS FOR RETAINING

a) Lateral Boundaries:

Terracing is permitted up to a lateral boundary provided that a retaining wall has been built for this purpose. The retaining wall may be positioned on a boundary provided that:

- Neither the wall nor the footing may encroach over the property boundary.
- The retaining portion of the wall does not exceed 1.2m.
- The overall height of the lateral perimeter wall does not exceed 1.8m height restriction when measured relative to NGL.
- Any level difference greater than 1m must be protected by a balustrade/wall to ensure public safety as per SANS 10400-D.
- If screening is required at drying and refuse yards, a minimum of 1.8m high wall/screen must be provided.

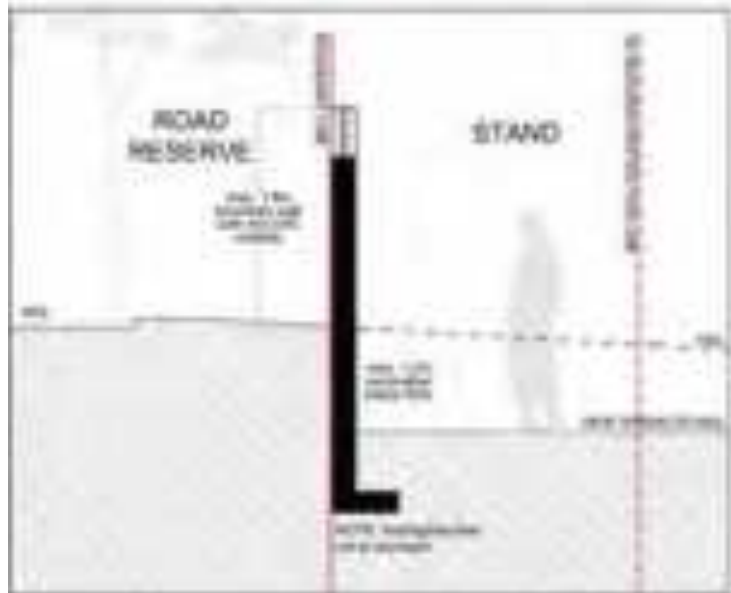


FIGURE 21_DIAGRAM INDICATING TYPICAL RETAINING WALL ON LATERAL SIDES OF ERVEN

b) Street Boundaries:

Terracing is permitted up to a street boundary. The retaining wall may be positioned on a boundary provided that:

- Neither the wall nor the footing may encroach over the property boundary.
- The retaining portion of the wall does not exceed 1.2m.
- The overall height of the street perimeter wall does not exceed 1.2m height restriction when measured relative to NGL, and is min 33% visually permeable.
- Any level difference greater than 1m must be protected by a balustrade/wall to ensure public safety as per SANS 10400-D.

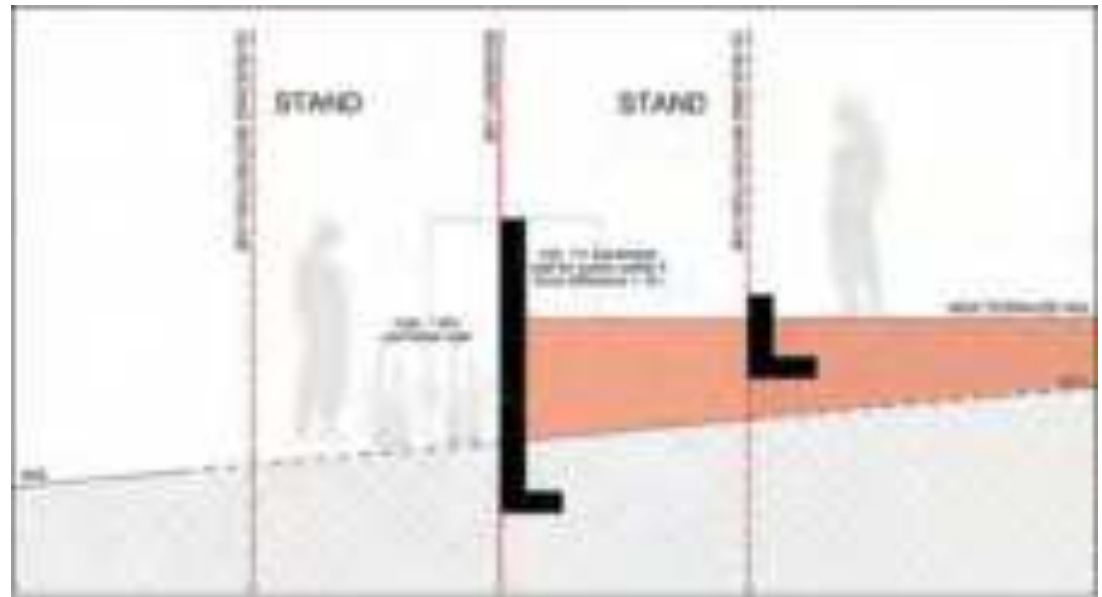


FIGURE 22_DIAGRAM INDICATING TYPICAL LEVEL CHANGES ON ROAD RESERVE SIDES. THIS APPROACH TO CUT, RATHER THAN FILL, IS PREFERRED AND APPLICABLE TO ALL BOUNDARIES

c) Rear Boundaries

Terracing is permitted up to a rear boundary. The retaining wall may be positioned on a boundary provided that:

- Neither the wall nor the footing may encroach over the property boundary.
- The retaining portion of the wall does not exceed 1.2m.
- The overall height of the lateral perimeter wall does not exceed 1.8m height restriction when measured relative to NGL.
- Any level difference greater than 1m must be protected by a balustrade/wall to ensure public safety as per SANS 10400-D.
- For any properties directly adjacent to the estate perimeter wall, the new property level must return to NGL at the boundary along which the estate perimeter wall runs. A retaining wall will be permitted within the building line.

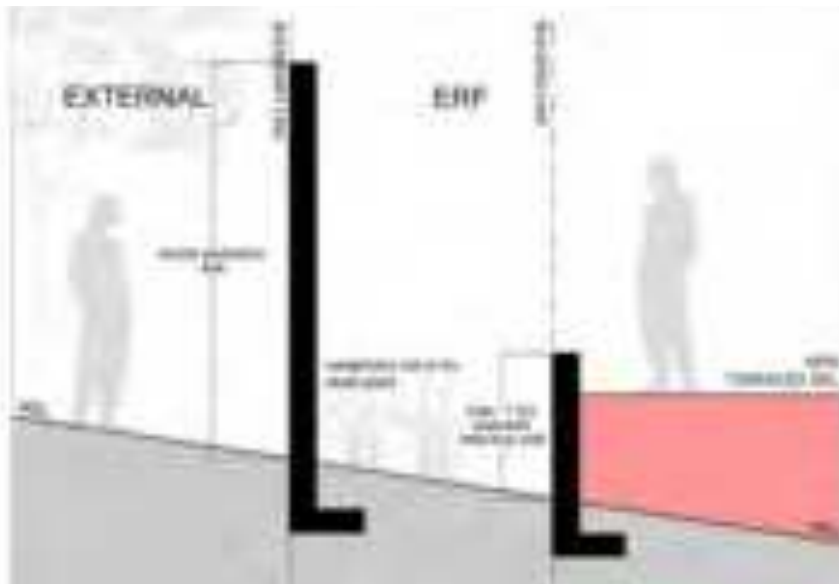


FIGURE 23_DIAGRAM INDICATING TYPICAL RETAINING WALL INSTANCES ON REAR BOUNDARIES ADJACENT TO ESTATE PERIMETER WALL

Terracing is permitted up to a park boundary, though returning the platform level to NGL at the property boundary is preferred. The retaining wall may be positioned on a boundary provided that:

- The footing does not encroach.
- The retaining portion of the wall does not exceed permissible maximum boundary wall heights.
- The overall height of the park perimeter wall does not exceed 1.8m height restriction when measured relative to NGL, and is 33% visually permeable
- Any level difference greater than 1m must be protected by a balustrade/wall to ensure public safety as per SANS 10400-D.

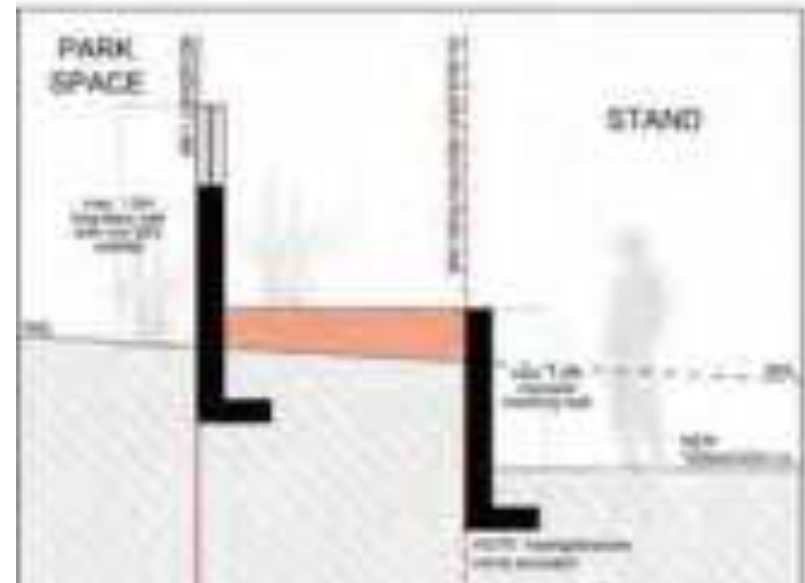


FIGURE 24_DIAGRAM INDICATING TYPICAL RETAINING WALL INSTANCES ON PARK BOUNDARIES

d) Planter Boxes

Planter boxes over the building line along the Estate perimeter boundary wall may be considered with the application and approval of building line relaxation. Should access to existing services be required by the HOA or its appointed contractor any damages to these structures will need to be rectified by the owner at their own cost

3.2.6 Parking & Garages

- a) Each property must have a minimum of two permanent parking bays and two guest parking bays. Parking bays may either be in the form of garages, carports, open parking bays.
- This requirement does not apply to erven/properties 322-331 and 379-394 which must have a minimum of one permanent parking bay and one guest parking bay.
 - This requirement also does not apply to the residential 2 stand properties 265 and 266 which must have a minimum of one permanent parking bay and one guest parking bay per residential dwelling.
 - Should a garage be built on the 3m building line with access directly from the street, the required guest parking bays shall still be provided within the boundary of the erf (refer to figure 25).

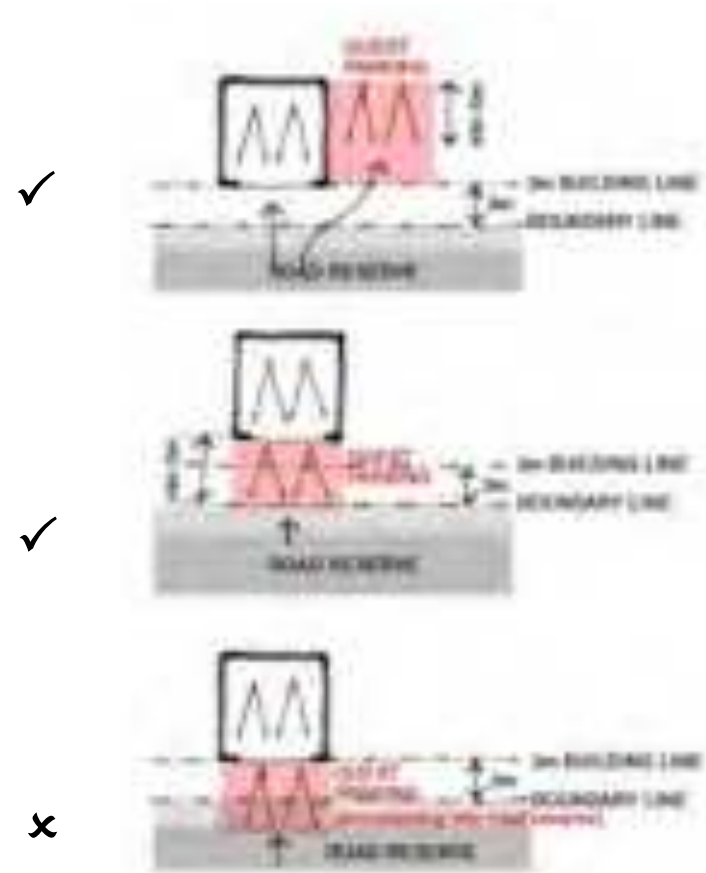


FIGURE 25_DIAGRAM INDICATING GARAGES & PARKING

4. DESIGN AESTHETIC CONTROLS

The Design Rules are intended to blend the cultural context, climatic conditions, physical characteristics of the land and topography and environmental concerns into an appropriate architectural ethos drawn from the “stoep” architecture of South Africa which responds to the elements of the historic architecture in the area. The intended result is a human scale village/suburb which will be distinctive, sustainable, enduring and cost effective.

Decorative and foreign architecture are discouraged in favour of an uncluttered architecture that is true to both form and function.

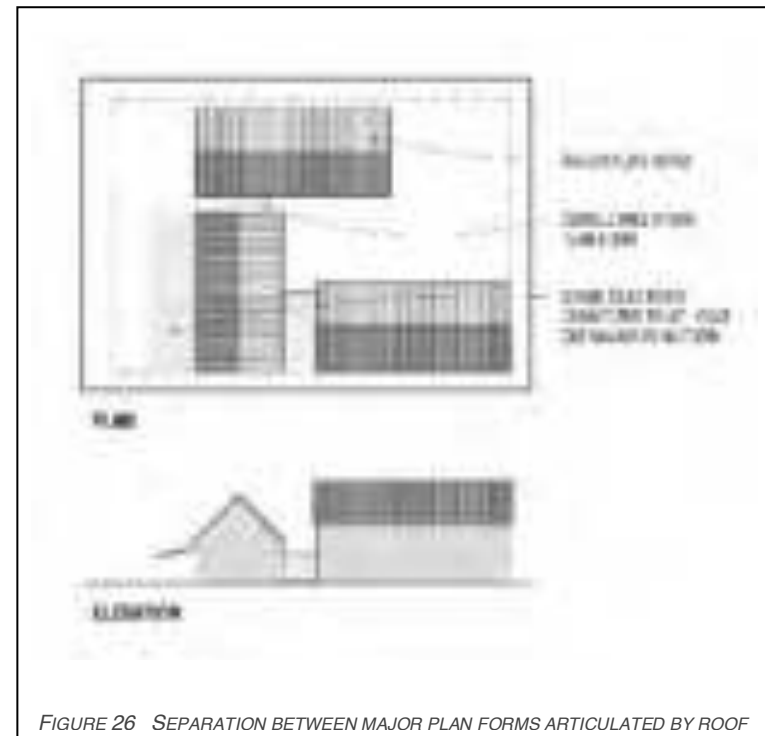
4.1 AESTHETIC STYLES

One of three aesthetic styles must be selected when designing the house and must be stipulated in all submissions to the NDRP. The aesthetic style selected will dictate various aesthetic parameters. Only aesthetic rules as per the selected style can be applied to any one house. The design will be scrutinised according to the style selected. The architect may not use or apply design elements from multiple styles.

Refer to Addendum A – Aesthetic Rules for further information regarding the available aesthetic styles.

4.2 PLAN AND ROOF FORMS

In order to maintain an appropriately scaled and articulated building form, it is a requirement of the Design Rules that buildings are designed as a collective of connected rectangular plan forms rather than a monolithic sculptural form.

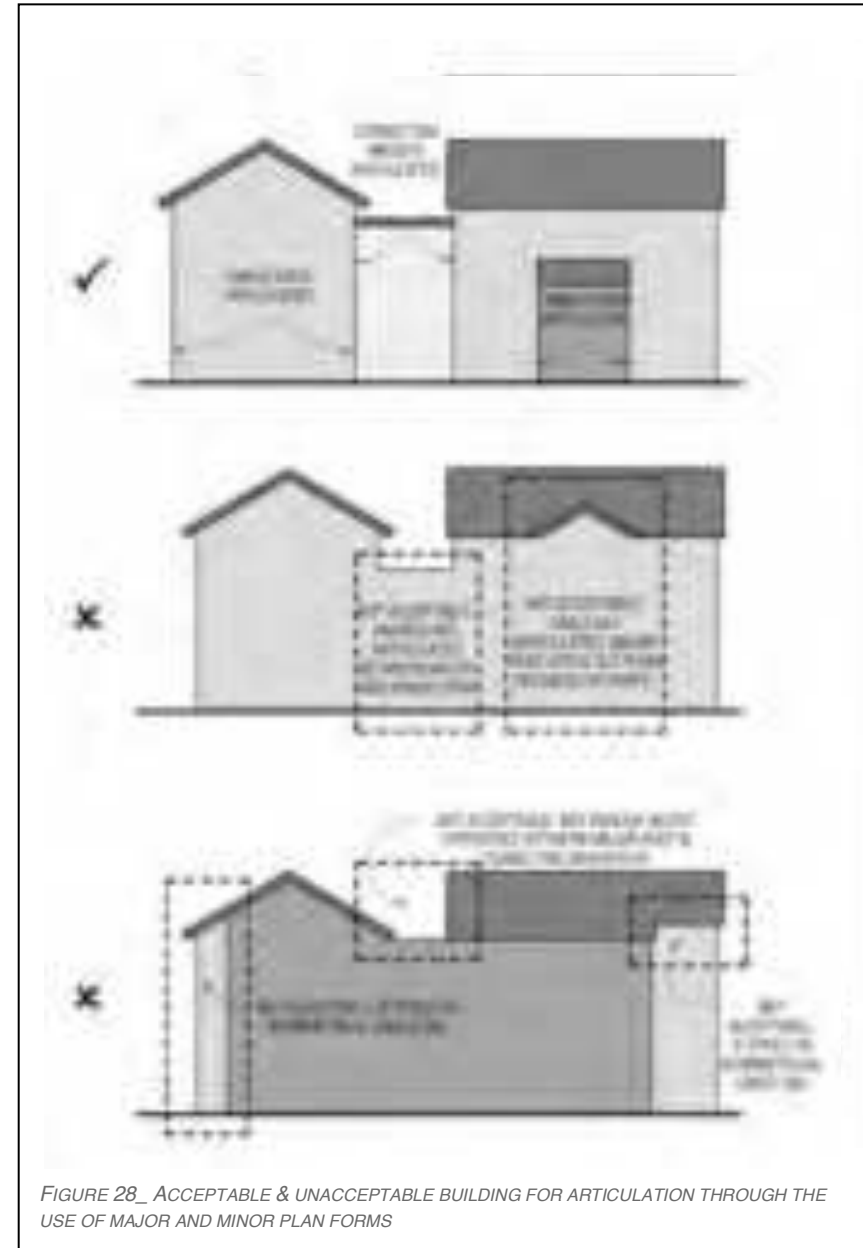
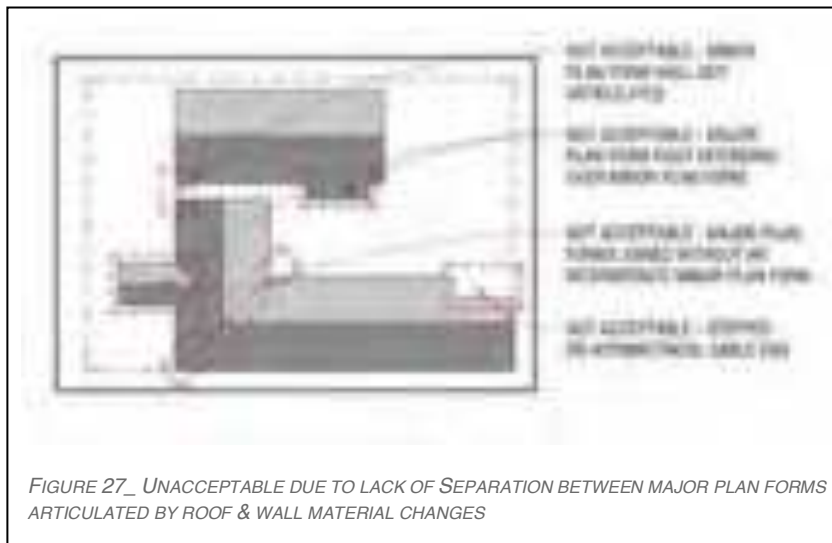


The following section deals with design considerations pertinent to achieving this aesthetic.

4.2.1 Major plan & roof forms

Major plan forms must be individually roofed and connected to each other with individually articulated minor plan forms. All major plan forms must have a double pitched roof with gable or hipped ends as per the aesthetic style selected (see Addendum A).

Ground and first floor plans should be coordinated to reinforce the major and minor plan form articulation. Architects must strive to achieve simple and corresponding facades between ground and first floor.



4.2.1.1 Major plan forms

- Must be rectangular
- Maximum width – 8 metres
- Must be individually roofed and connected to other major plan forms by connecting minor plan forms

4.2.1.2 Major roof forms

- The major roof forms must comprise a minimum of 60% of the footprint of the house. For consistency across the styles, this must be measured to external walls as per coverage calculations, and all roof overhangs which do not cover a useable space must be excluded.
- Only one of the following two roof forms may be used for the major plan forms for each house:

a) Double pitched roofs:

- Pitch - as per style specific Aesthetic Rules
- Gable ends must be clipped or have parapet wall as per Aesthetic Rules
- Gable ends are applicable to specific styles of the Aesthetic Rules and are encouraged to be fully or partially glazed or cladded. Ornate gable ends are not permitted.
- Lofts within the roof spaces are encouraged. Dormer windows are subject to design restrictions.

OR

b) Hipped roofs

- Pitch – as per style specific Aesthetic Rules
- Eave overhangs as specified in the Aesthetic Rules

FIGURE 29_GABLE ENDS – ALLOWED/DISALLOWED AS PER ADDENDUM A

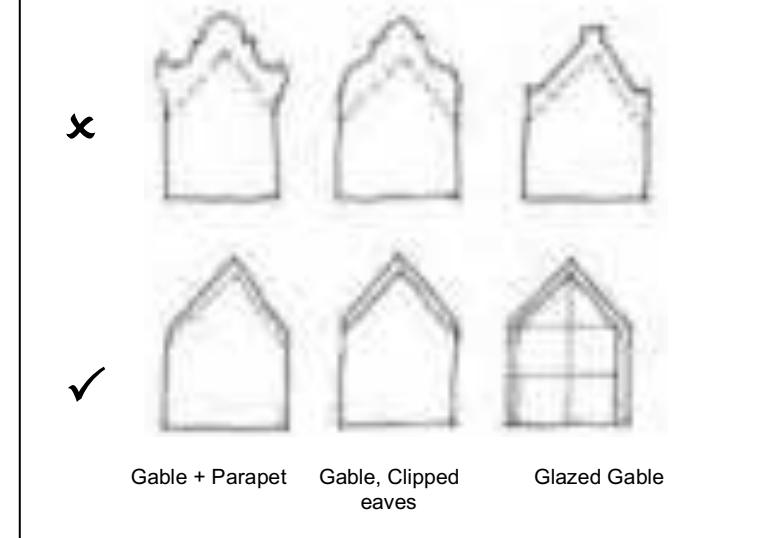
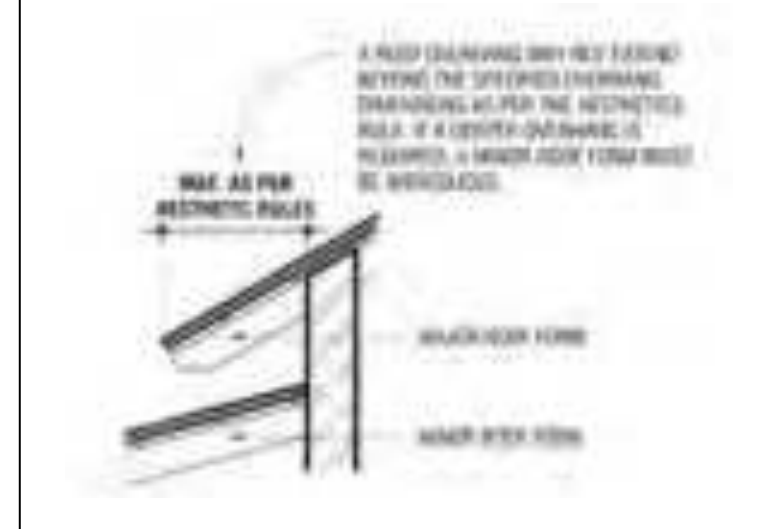


FIGURE 30_SECONDARY ROOF FOR OVERHANG WIDER THAN 600MM



4.2.1.3 Major Roof Materials

Specific Inclusions:

- Colours to be grey, charcoal or white as per Addendum A
- Roof sheeting options:
 - “S”-profile powder-coated metal sheeting
 - Rheinzink metal sheeting
 - Kliplok 700 powder-coated metal sheeting
 - Safintra Newlok powder-coated metal sheeting
[or similar approved profiled sheeting] – at the discretion of the NDRP
- Roof tile options:
 - Marley Modern Concrete Roof tiles
 - Infraset Horizon;
 - Coverland Elite; and
 - Coverland Perspective
[or similar approved concrete roof tiles]
- Broseley tiles
- Roof structure to be timber (natural or painted), or steel (galvanized and/or painted).
- Closed eaves to be Nutec cement panelling, or T&G timber panelling
- Fascias and bargeboards to be timber, fibre cement or aluminium.
- Gutters to be seamless powdercoated aluminium, galvanised steel or Rheinzink. Gutters and down pipes must be concealed as far as possible. Where visible, gutter colour must match roof.
- Rainwater down-pipes to be powder-coated aluminium, galvanized chains or Rheinzink. Colour to match roof or walls.

Specific exclusions:

- Thatch
- Slate/clay tiles
- IBR profiled sheeting
- Wooden shingles
- UPVC gutters & downpipes.

4.2.2 Minor plan and roof forms

All minor plan forms must be attached to at least one major plan form. Minor roof forms are applicable to all Aesthetic Styles.

4.2.2.1 Minor plan forms

- Must be individually articulated from major plan form.

4.2.2.2 Minor roof form

- Must be articulated from adjacent major roof by a minimum separation of 170mm from underside of major roof eaves. (this is to be measured from highest point or parapet of minor roof)
- Only the following three minor roof styles may be used:

a) Lean-to roofs

- Pitch - 5° to 15°

b) Flat concrete roofs

- with surrounding parapet wall or framed to keep the profile as narrow as possible

c) Sloped roof with surrounding parapet wall or gutter detail

- Pitch - 2° to 15°

4.2.2.3 Minor roof materials

- Roof structure to be timber (natural or painted), or steel (galvanized and/or painted) or concrete for flat roofs.
- Where flat concrete roofs have waterproofing, any built-up membrane or aesthetically unpleasing waterproofing finish must be concealed with gravel/ pebbles or planting
- For lean-to roofs, material to match that of major plan form roof.

4.2.2.4 Green roofs

- Green Roofs- defined as a “layer of vegetation planted over a waterproofing system that is installed on top of a flat or slightly-sloped roof”- are permitted as a minor roof form.
- Where a green roof is incorporated, a minimum planting medium of 340mm must be provided.
- Planting to a green roof must comply with the landscape rules, and must ensure that the roof remains perennially planted and attractive. The maintenance to the green roof, to ensure it is thriving and aesthetically pleasing, is the responsibility of the owner, to the satisfaction of the association
- Where green roofs are utilized at ground floor roof level [as roofs to ground floor areas], it can contribute visually as an extension of the landscape. In this scenario, the area of the green roof does not contribute to the minor roof form calculation. A green roof can be deducted from the minor roof area to a maximum of 25% of the overall roof area. Green roofs at first-floor roof level cannot be deducted from the minor roof area. [See fig. 31].

- The above calculations do not affect restrictions in terms of coverage, FAR or other statutory building controls.

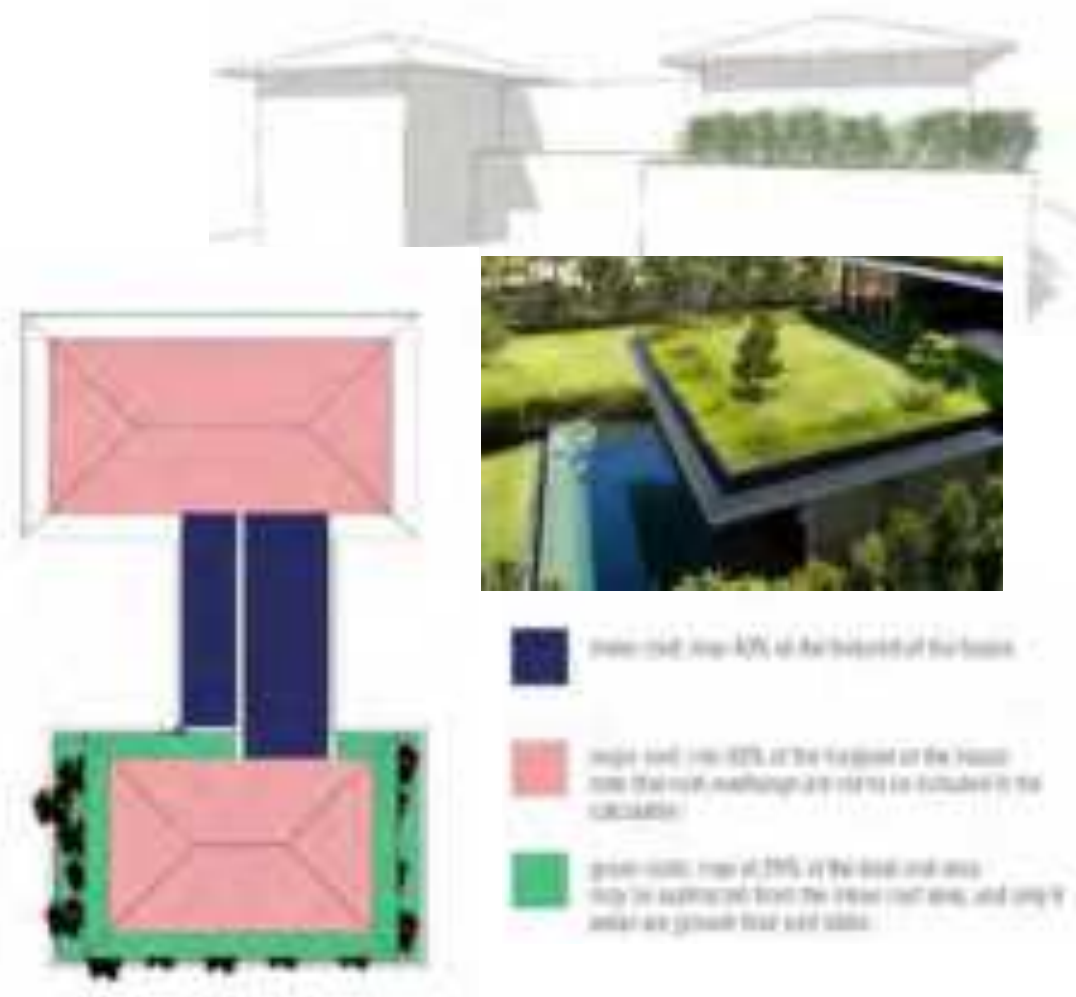


FIGURE 31_DIAGRAM OF GREEN ROOF PROPORTIONS AND GREEN ROOF VISUALISATIONS

4.3 COVERED VERANDAS/ PATIOS, DECKS, PERGOLAS AND COURTYARDS

The liberal use of these elements is encouraged as they “blur” the internal/external thresholds of the house and reinforce a strong inter relationship between the built form and its natural surroundings.

These elements are essentially “outdoor rooms” that offer a rich spatial experience whilst also creating the very aesthetically desirable “depth” to the elevations of the house.

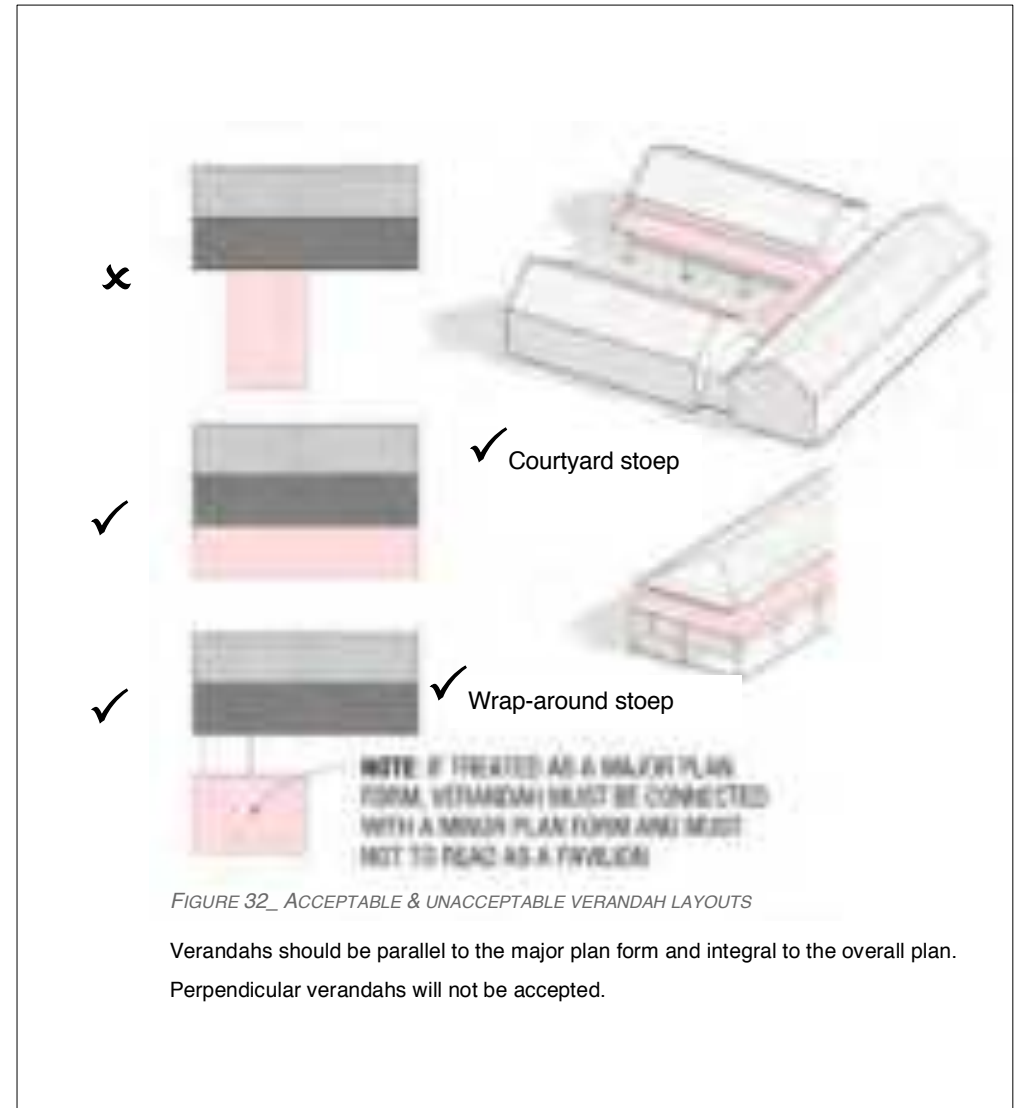
A retrospective “tack on” approach to the design of these elements will however miss these inherent opportunities.

a) Specific inclusions

- Recessed and/or integrated verandas/patios
- Open and roofed courtyards
- Timber decks

b) Specific exclusions

- Retractable or fixed awnings
- “Broekie lace” or any excessive adornment.
- Precast concrete or any decorative, stylistic columns
- Ornate balustrades
- Verandas with lapped edging
- Unplanned log or gum pole pergolas or supports
- Shade cloth
- Free-standing pavilions



4.4 EXTERNAL WALLS

Major plan form walls should be dominant in their wall design and treatment & should be offset with large glazed walls. The walls, similar to the roofs, must speak to the building footprint. The puncturing of solid walls should be done in a measured fashion.

Minor plan form walls should be articulated by a step-back and be light, even fully glazed, to mark the transition between major plan forms.

4.4.1 Materials

a) Refer to Aesthetic Rules for style specific materials

b) Specific exclusions

- Artificial stone
- Spanish or decorative plaster
- Decorative paint techniques
- Tiles
- Off-shutter concrete as final finish

Please note The NDRP may consider the use of large format natural stone slabs i.e. granite, marble, sandstone or similar. Provided that:

- it is applied as a feature and not the predominant textured material as per the finish's ratios of the permitted styles.
- it is a matt finish and colour compliments and matches the proposed colour palette.
- no polished natural stone finishes will be accepted.

- a sample image at stage 1&2, as well as a physical sample at stages 4-6, must be submitted to the NDRP for formal written approval PRIOR to construction.

Any deviation to this rule may be considered by the NDRP on the merit of the architecture and its keeping of the architectural style of the Estate.

c) External wall base (plinth) & feature walls

The incorporation of a plinth is strongly encouraged in the façade design. The recommended proportions are described for each style within the Aesthetic Rules.

- The plinth and/ or feature wall is envisaged to be substantial and integral to the overall façade design. Feature walls and plinths are permissible for individual styles as per the Aesthetic rules.
- Plinth materials are to be natural stone cladding, timber cladding, facebrick or Tyrolean Plaster subject to selected style from the Aesthetic Rules. Artificial stone will not be permitted.

4.4. 2 Colours

a) Specific inclusions

- A palette of architectural greys, whites and muted earth colours are permitted as per Aesthetic Rules

b) Specific exclusions

- Bright feature colours

4.5 EXTERNAL WINDOWS AND DOORS

The manner in which external windows and doors are articulated is key to achieving a particular architectural style. Large glazed apertures rather than repetitive smaller openings are encouraged – please refer to Addendum A for examples for each aesthetic style.

- Burglar proofing if required must be an integral design element of the window/door and mounted on the inside of the glass/door.
- Bay and dormer windows are encouraged as part of the overall look and feel of the Estate’s architectural aesthetic. They must be individually articulated, rectangular in form and roofed as a minor plan form.
- Window and door formats must follow the style specific Aesthetic Rules.

4.5.1 Materials

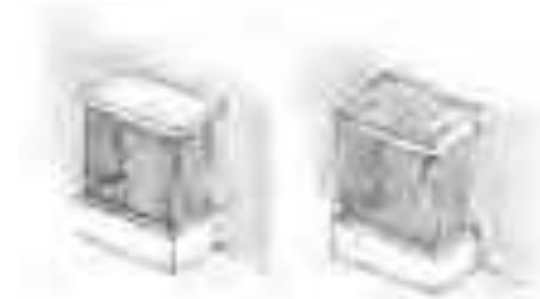
a) Specific inclusions

- Glazing must comply with SANS 10400 and SANS 10400 part XA
- Aluminium, steel or timber framed doors & windows.
- Glazing beads must be used – putty is not permitted

b) Specific exclusions

- Reflective or any coloured glass
- Stained glass or lead light glazing
- Sandblasted or vinyl/ coated glass patterning is not permitted.
- UPVC windows and doors
- Ornate, decorative or carved doors
- Externally mounted burglar proofing
- Trelli type, Roll-up or sectional slide security screens

FIGURE 33_ ACCEPTABLE & UNACCEPTABLE BAY WINDOWS



Bay windows irregularly shaped or not individually articulated will not be permitted.

FIGURE 34_ DORMER WINDOWS

The following roof windows/ dormer windows are permissible. Size and shape of the windows is not prescribed so long as the window does not protrude above the roof ridge line.



- Glass blocks & ‘Winblocks’
- Arched or irregularly-shaped punch-hole windows

4.5.2 Window & door colours

a) Specific inclusions

- Black, greys and earth-toned colours
- Stained or treated timber
- Painted timber permitted in white only

b) Specific exclusions

- Bright colours and greens

b) Specific exclusions

- False/decorative shutters of any description
- UPVC shutters
- Ornate or carved shutters
- Trelli type, Roll-up or sectional slide security screens

4.6.2 Shutters & screens colours

- Colour to match finish of external windows and doors if made from the same material.
- Where an alternative material is used – black, grey or earth tones, treated timber or white painted timber is permitted.

4.6 SHUTTERS AND SCREENS

The measured and appropriate use of semi-transparent shutters and screens is encouraged as a means of creating layering and depth to the elevations and as an effective method of dealing with climatic issues, privacy issues and sun-shading. They also compliment the lightweight language of walls for minor plan forms and are permitted as a security barrier.

4.6.1 Materials

a) Specific inclusions

- Working shutters – sliding; folding; side hung and top-hung
- Steel, timber or aluminium
- Louvered or slatted shutters/ screens
- Internal ‘plantation’ shutters

4.7 GARAGES AND OUTBUILDINGS

Any garage/outbuilding must compliment the design of the house with a common architectural treatment and this relationship should be reinforced by way of structured walkways and other visual links.

Garages and outbuildings may be either major or minor plan forms and flat roofs are permissible.

4.7.1 Garage doors

a) Specific inclusions:

- Powder-coated aluminium roll-up
- Timber horizontally slatted sectional overhead or sliding.

b) Specific exclusions

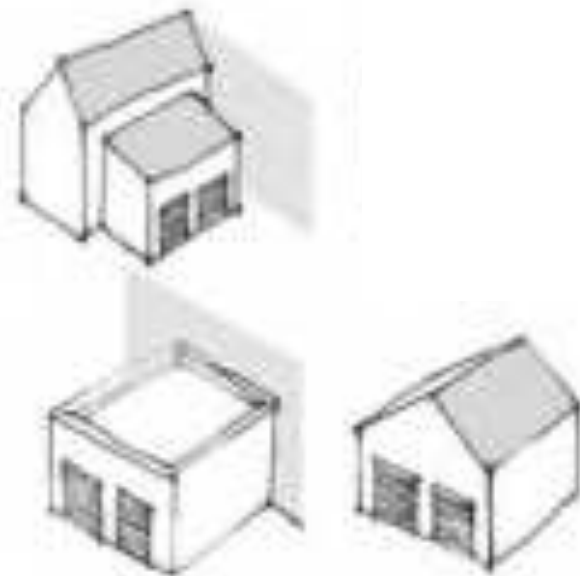
- Fielded panel doors
- Ornate carved doors
- Glass sectional panel
- Painted steel tip-up doors

4.7.2 Colours

- As for external windows and doors

FIGURE 35_ GARAGE SKETCH – BREAKING UP THE ROOF PROPORTIONS

The following are acceptable garage buildings. It is encouraged that garages are integrated into the design of the main building. The sizes of the properties lend themselves to connected rather than free standing garages, however, exceptions will be accepted at the discretion of the NDRP.



4.8 CAR PORTS

In order to accommodate the permanent parking bays as specified in clause 3.2.6, the NDRP will permit either a garage or a car-port. The design of the car-ports are to be treated in a similar manner to the minor roof forms and should be an integrated element of the overall design and are subject to the property's building line restrictions.

a) Specific inclusions

- Timber, concrete or steel structures
- Mono-pitch or flat roofs
- Roof to match main roof materials

b) Specific exclusions

- Shade-cloth car ports
- Double pitched roofs
- Coloured polycarbonate sheeting
- Arched or irregular structures

4.9 SOLAR PANELS, SOLAR GEYSERS & ROOF LIGHTS

Solar panels and roof lights are permitted provided they are mounted along the plane of the roof. Solar geysers are also permitted provided that the geyser is installed in the roof space or positioned so that it is not visible from the common property or adjacent erven when viewed at natural ground level.

a) Specific exclusions

- Pyramid, vault, or bubble type roof lights

- Visible solar geysers
- Bracket mounted solar panels and/ or geysers on flat roofs
- Coloured/ reflective glass roof lights

4.10 LAUNDRY DRYING YARDS

Laundry drying yards must be positioned on the property in such a manner that they are concealed from view from the adjacent street/s, properties and park spaces.

- Special care must be taken in the case of laundry yards which are lower than street level.
- Screening which does not fall within the building lines must comply with perimeter wall rules in terms of height.
- The planting of shrubs and trees for screening purposes is encouraged.
- Positions must be indicated on drawings for NDRP approval



FIGURE 36_DIAGRAM INDICATING ACCEPTABLE AND UNACCEPTABLE SOLAR PANEL TYPES

4.11 DRIVEWAYS

- Maximum total drive width from back of sidewalk to ERF boundary – 9m. Where site conditions do not allow for this, the NDRP will evaluate on a case by case basis. In such cases, the area exceeding 9m must be treated with planted grass-blocks or concrete driveway tracks so as to minimise the solid surface & visual impact thereof.
- Two 110mm diameter sleeves must be laid under the driveway for future use by the Association

4.11.1 Material and colours

a) Specific inclusions

- Cast concrete, brushed concrete or Artevia
- Concrete and brick pavers
- Grass blocks or concrete driveway tracks with planting between
- Gravel with a structured edge is permitted within erf boundary only.
- Grey/ earthy colours

b) Specific exclusions

- “Crazy” paving, patterned or ornate paving
- Pink or bright colours

4.12 ENTRANCE GATES

a) Driveway and pedestrian entrance gate dimensions:

- Gates must be proportionate to the wall in which they sit and may extend up to 500mm above the top of the wall/ fence.
- Gates may not be solid and must be visually permeable for at least 30% of their surface area.

b) Colours – as for external windows and doors.

- Only gates with painted steel bars and/ or painted or natural timber are permitted.



4.13 GENERAL

4.13.1 Swimming pools

- Discharge pipes from swimming pools or water features may not discharge water directly onto any other property or the common property and such discharge must be dealt with in terms the regulations of the Local Authority.
- Filtration equipment and motors must be screened from view from outside of the property and insulated in such a way as to minimise noise pollution beyond the property.
- Swimming pool and water feature design and fencing must comply with SANS10400 part D to ensure public safety. Water features accessible from common property must be secured for public safety in the same manner prescribed for swimming pools in SANS10400 Part D.

4.13.2 External lighting

- Generally a “dark sky” policy applies within the Estate.
- External light fitting selection criteria should be “to see the pool of light but not the light source.” Concealed/ indirect light sources must be used.
- The following lighting is not permitted:
 - No additional lighting may be fixed to the Estate perimeter wall.
 - Flood lighting or spotlighting of the external walls and/or boundary walls
 - Spotlights shining beyond the boundaries of the property.
 - Skyward shining spot lights.
 - Light wash onto neighbouring properties and adjacent common property

4.13.3 House numbers/ intercoms/post boxes

- Each property must have a street address number as allocated by the Local Authority displayed which must be clearly visible and readable from the street from which it takes access.
- The numbers must be between 150mm and 600mm high. They may not be lit with neon, flashing or coloured lighting. The design may not be overly ornate and must suit the colour palette of the house.
- Intercoms must be integrated into the street boundary walls or mounted on a gooseneck.
- No walls to accommodate intercoms may be constructed on any sidewalks.
- Post boxes must be rented from an off-site location and thus post boxes will not be permitted in boundary walls or free-standing within the road reserve.

4.13.4 Generators

The following rules and procedures have been developed to ensure that owners wishing to install and use a private generator do so in such a way that the impact to neighbours and the Estate from environmental pollution by noise, chemical and particulates is minimized.

- Owners are required to submit the intended generator position on plan and screening design to the NDRP before installation.
- Owners are also required to submit the make, model and specification to the construction control officer prior to installation along with investigated noise level output measured in decibels (dB) and a fire protection plan.
- The following rules apply:

- The noise levels of the generator must comply with Local authority requirements and may not exceed 60 decibels at 4 meters.
- Only one natural gas, petrol or diesel driven, domestic generator per residence will be permitted. The generator should be of the domestic 'Silent'/'sound-proof' type with an automatic switch or manual change over installed.
- The generator should be an emergency back up and should only operate during power failures.
- The generator must be installed within the building lines of the stand.
- The generator may not be visible from street, park spaces or adjoining properties. Generator enclosures must be suitably roofed and screened with sufficient sound attenuation where required.
- All fire safety regulations must be met.
- Exhaust gases shall be vented into a safe area with adequate ventilation to disperse gases to a safe level. The generator exhaust may not discharge toward adjoining property. All electrical cables must be concealed.
- The generator must be installed by a qualified, registered electrician. The generator must be properly earthed and comply with all relevant legislation, by-laws and safety regulations. A COC [Certificate of Completion] must be completed for the installation and submitted to the construction control officer prior to use of the generator.
- All generators on the estate should be switched off between 23h00 at night and 06h00 the next morning

4.13.5 Antenna/satellite/receiver dish

- Only one such antenna/ satellite/ receiver dish is permitted per property.
- Must be positioned below roof eaves.
- The colour of the satellite/receiver dish and the mounting brackets and cable must blend in with the colour of the roof/wall to which it is attached.
- No advertising or exposed cables will be permitted.

4.13.6 Sewerage and vent pipes

- Sewerage and vent pipes higher than 1m when measured to natural ground level vertically below such point must be concealed in vertical ducting or within the wall.

4.13.7 Burglar alarms

- The alarm must be a silent (not connected to a siren) but may be connected to one strobe light on the side of the house from which it takes access.

4.13.8 Water Meter Application and Procedure

- The onus is on the owner for the application and installation of a water connection in compliance with the rules and regulations of the local authority.
- The water meter must be installed on site prior to any site hand over
- Joburg Water will arrange for the water meters to be read, and billed directly to the owner on a monthly basis.
- **Please note:** bore holes will not be permitted on any site without written approval from the NDRP, the Department of Water Affairs and the Local Council.

4.13.9 Water Storage

- Rainwater removal and harvesting should be considered as an integral design solution with the roof and building with carefully screening of storage tanks.
- Storage tanks must be screened from view from outside of the property at NGL.

4.13.10 Communication Network

- The Architect must ensure that sleeves are provided from the site boundary to accommodate future telecommunications connections. These must be clearly indicated and specified on the building plans.
- The NDRP recommends that sleeves be provided for FTTH from the site boundary to a termination point in the residence.

5. CONSTRUCTION PERIOD

Refer to the Neighbourhood Construction Code of Conduct for more detail.

5.1 Payments to be made by owner to Association during the construction period

A construction control fee charged per month, pro rata, monthly in advance to be debited to the owner's levy account for the duration of the construction period for the duties to be performed by the construction control officer in terms of this agreement.

A construction wear and tear fee to be charged per month, pro rata, monthly in advance to be debited to the owner's levy account for the duration of the construction period to cover the costs of wear and tear of the common property and/or the common property services.

A non - interest bearing construction damage deposit to cover the costs of repairing any damage to the common property and/or the common property services, as may be caused by the contractor or by any vehicles delivering materials to the property for the purposes of the construction of improvements.

The cost of repairing any such damage will be deducted by from the deposit and the balance, if any, will be repaid to the owner within 21 days after issue of the construction completion certificate. Should the cost of any such repairs exceed the amount of damage deposit such additional shall be paid on demand and prior to the issue of the construction completion certificate.

ADDENDUM A: AESTHETIC RULES

One of the following three aesthetic styles must be chosen & applied to the architecture of the owner's design. This must be clearly indicated & demonstrated in plan submissions. Each proposal will be reviewed specifically according to the chosen aesthetic style.

1. CONTEMPORARY BARN-STYLE



2. HOMESTEAD STYLE



3. MODERN STEEP STYLE



STYLE 01: CONTEMPORARY BARNSTYLE

This style is characterised by a mix of a simple barn style structure, characterised by a simple white painted structure with a dark roof and a large glass frontage. The style is characterised by a mix of a simple barn style structure, characterised by a simple white painted structure with a dark roof and a large glass frontage.



THEMING IMAGES:



Image 1: A simple barn style structure with a dark roof and a large glass frontage. Image 2: A simple barn style structure with a dark roof and a large glass frontage. Image 3: A simple barn style structure with a dark roof and a large glass frontage. Image 4: A simple barn style structure with a dark roof and a large glass frontage.

MATERIAL PALETTE:

Walls and roof:

Large sections of glass will flow into an exterior. Glass will be used in a way that is not too large. Glass will be used in a way that is not too large.

WALLS:		High end of stone or brick for exterior walls.
ROOF:		Dark metal or slate for roof. Shingles for gables.
FLOOR:		Dark wood or stone for floor. Concrete for exterior walls.

Feature walls:

Use a mix of materials for feature walls. Use a mix of materials for feature walls. Use a mix of materials for feature walls.



COLOR PALETTE:

Use a mix of colors for feature walls. Use a mix of colors for feature walls. Use a mix of colors for feature walls.



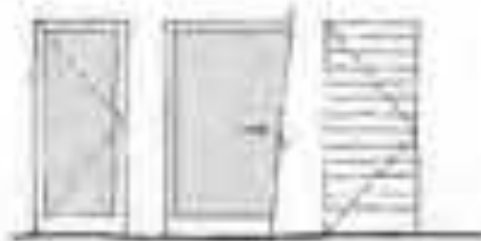
WINDOWS:

Windows will be in the form of the window are discussion of the light. To a secondary level, making an overhang is better or deep blind overhang. A retaining, a typical procedure of view is vertical or horizontal pane. Consider window will be in the form of the window are discussion of the light.



DOORS:

Doors will be designed as a solid, set of the door will be a solid door. When door like door are normally glass door are normally solid door, and door are solid door, and door are solid door, and door are solid door.



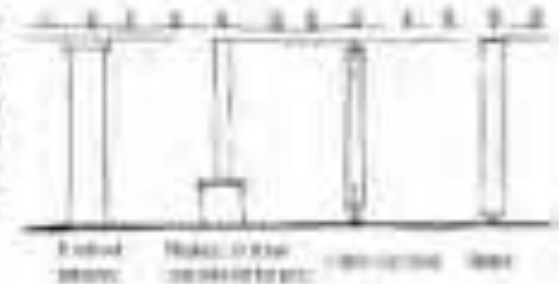
MAJOR ROOFS:

Roofs will be in the form of the roof are discussion of the light. To a secondary level, making an overhang is better or deep blind overhang. A retaining, a typical procedure of view is vertical or horizontal pane. Consider window will be in the form of the window are discussion of the light.



COLUMNS:

Columns will be in the form of the column are discussion of the light. To a secondary level, making an overhang is better or deep blind overhang. A retaining, a typical procedure of view is vertical or horizontal pane. Consider window will be in the form of the window are discussion of the light.



CHIMNEYS:

Chimneys will be in the form of the chimney are discussion of the light. To a secondary level, making an overhang is better or deep blind overhang. A retaining, a typical procedure of view is vertical or horizontal pane. Consider window will be in the form of the window are discussion of the light.



Finish: matt stainless steel/black

WINDOWS:

Do not build tall windows with vertical mullions or transoms. In common with other windows, do not build windows with single vertical panes. Do not build windows with decorative elements. Do not build windows with decorative elements. Do not build windows with decorative elements.



DOORS:

Do not build doors with decorative elements. Do not build doors with decorative elements. Do not build doors with decorative elements.



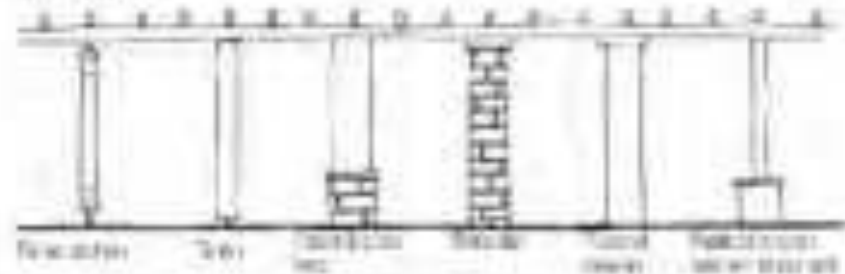
MAJOR ROOFS:

Do not build roofs with gable ends. Do not build roofs with gable ends. Do not build roofs with gable ends.



COLUMNS:

Do not build columns with decorative elements. Do not build columns with decorative elements.



CHIMNEYS:

Do not build chimneys with decorative elements. Do not build chimneys with decorative elements.



STYLE 03: MODERN STOEP

The modern stoep style is a contemporary interpretation of the South African rugged stoep architecture. The style is characterized by low-pitched, tiled roofs and deep, covered outdoor areas for a contemporary approach. The design should make use of concrete walls and large glass windows.



THEMING IMAGES:



Image 1: © iStockphoto.com/Andreas Gahr
Image 2: © iStockphoto.com/Andreas Gahr
Image 3: © iStockphoto.com/Andreas Gahr
Image 4: © iStockphoto.com/Andreas Gahr

MATERIAL PALETTE:

Walls and roof:

Large amounts of glazing and doors with wide thresholds. Use of dark floor cover, the flooring can be grey.



COLOUR PALETTE:

The color palette for this style is dark and vibrant grey and warm beige with charcoal and grey walls.



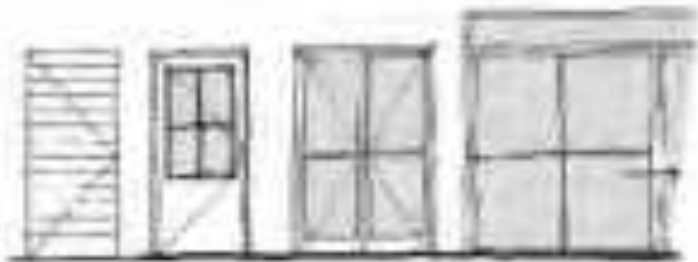
WINDOWS:

Windows are generally set in a grid pattern with the grid lines extending across the width of the facade. Casement windows are permitted for any part of the facade. A window height will be provided with an overhang in the finished form.



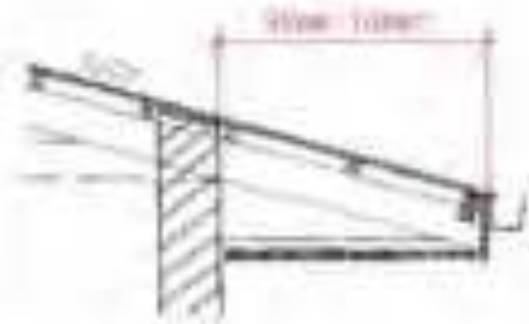
DOORS:

Doors are to be simple and unadorned. They should be set in a grid pattern and are not to be set in a wall. They should be set in a wall.



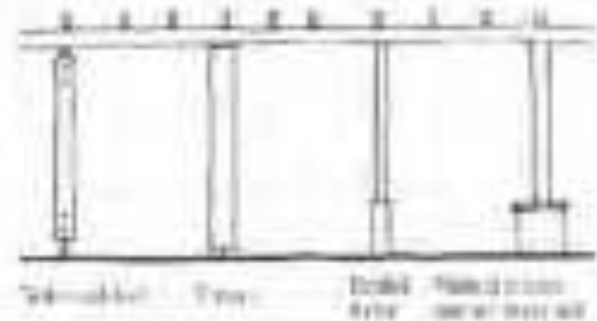
MAJOR ROOFS:

Roof pitches are to be set in a grid pattern with the grid lines extending across the width of the facade. The roof pitch will be provided with an overhang in the finished form.



COLUMNS:

Columns are to be set in a grid pattern with the grid lines extending across the width of the facade. They should be set in a wall.



CHIMNEYS:

The use of chimneys will be permitted for any part of the facade.

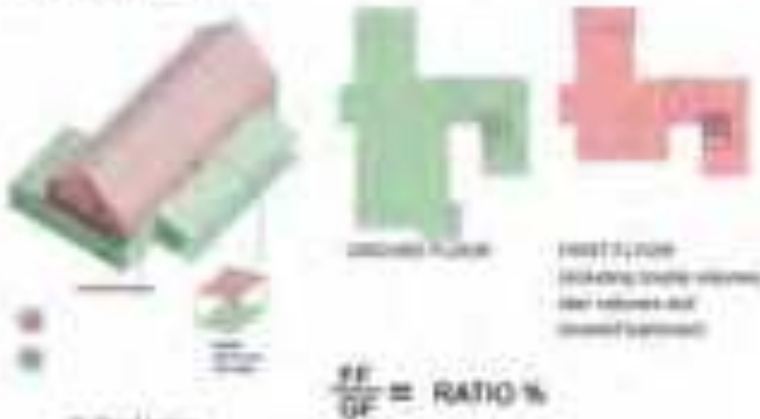
Finish: matt stainless steel/black



ADDENDUM B: CLARIFICATION OF CALCULATIONS

1. First Background Floor Ratio

First floor area to include all stairs, double volumes and covered balconies



2. Roof Areas

- Total roof area (including green-roofs) = a
- Total major roof (polished roof excluding roof overhangs) = b
- Total minor roof area (including green-roofs) = c
- Total green roof area (this 20% of total roof area) = d

Minor roof area = $c - d = e$
 Minor roof percentage = $e/a * 100$



3. Staircase Ratio - AS PER CHOSEN STYLE

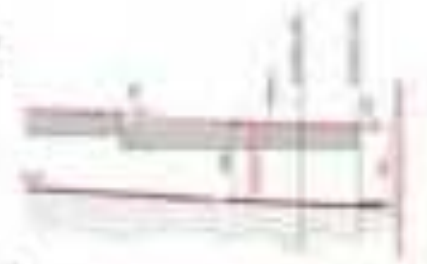
- Calculations for each elevation
- Do not include roof areas in ratio calculations
- Glazing areas may be deducted from calculations

4. Secondary Walls

Please note that permeability is measured in the vertical plane not the overall area of the wall

Secondary wall elements are to include:

- 1 Secondary profiles
- 2 Flanking line positions
- 3 FRC
- 4 Height above FRC
- 5 Height of the roof (200mm solid portion of the wall on the street and park boundaries)



Max 150mm above FRC
 Max 150mm above FRC
 Max 150mm above FRC



150mm solid height above FRC
 Permeable section of the 200mm or more solid section to be 100mm or less

5. ALL sections and elevations to show:

- properly boundary line
- building lines
- feature Ground Level
- Height extension line (offset from FRC)
- Cut a 60 dimensions/relating walls heights



Please show all circumstances in the same plane
 Roof over major roof 20% of total roof area
 Background ratio: 1st floor to be 20% of ground floor
 minimum ratio as per chosen style

ADDENDUM C: APPLICATION FORM

THE NEIGHBOURHOOD ESTATE

DESIGN REVIEW APPLICATION FORM SUBMISSION TO THE NEIGHBOURHOOD DESIGN REVIEW BOARD

Page No: _____

Send Via / Date: _____

The application should be submitted together with the following information and documents to the relevant authority. The application should be completed and submitted with each submission to the relevant authority.

Any location to be applied for should be indicated on the NDBR (Neighbourhood Design Board) Form and completed with the following information:

1. The site, address or location to which the application is submitted in accordance with the application. Where a residential street is shown, the applicant should indicate the location of the proposed development.

2. The proposed development, including any other details, such as the location of the proposed development.

3. The proposed development, including any other details, such as the location of the proposed development.

4. The proposed development, including any other details, such as the location of the proposed development.

5. The proposed development, including any other details, such as the location of the proposed development.

Development

Site	_____	_____	_____
Plot	_____	_____	_____
Address	_____	_____	_____
Use	_____	_____	_____
Level	_____	_____	_____

INDICATE WITH BOXES OF CONSTRUCTION

Area to be developed Extension/Alteration Other

INDICATE THE DESIGN & APPLICABLE ZONE WITH

1. Indicate the location of the development on the map. The information submitted should be based on aerial photography and should be clearly marked and not be obscured or obscured by any other markings.

Signatures

APPLICANT'S SIGNATURE: _____
Date: _____

APPLICANT'S SIGNATURE: _____
Date: _____

SENDING DETAILS FOR SCHEDULED

By: _____

SENDING DETAILS FOR SCHEDULED

By: _____
Name: _____
Address: _____
Phone: _____

1. The information provided in this application is for the use of the relevant authority and should not be used for any other purpose. The information provided in this application is for the use of the relevant authority and should not be used for any other purpose.

ADDENDUM D: NDRP CHECKSHEET

By the way, you can also find out about the company's website

at the company's website

at the company's website

at the company's website

at the company's website

at the company's website

1. The company's website is a good source of information

2. The company's website is a good source of information

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1. ZWEITE ARTISTISCHE CONTROL

2. KONTROLIERUNGSFRAGEN

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ADDENDUM E: AMENDMENT SUBMISSION PROCESS

SUBMISSION OF AMENDMENTS FOR SCRUTINY

Introduction

From time to time owners make adjustments to their design after having obtained stage 2 approval. As per the Design Rules, any amendments to the design must be submitted to the NCCP for approval before any property improvements commence. Such amendments must address different submission problems and stipulated scrutiny cost to a typical plan submission.

Process

When an amendment to the design must be submitted to the NCCP after stage 2 approval, the following process must be followed:

- The submissions, as listed below, must be submitted to the NCCP for evaluation:
 - o Completed and signed application form (see Investment 1)
 - o Architect SA/CAP registration number
 - o All drawings affected by the amendment must be submitted, clearly using revision clouds and tracing/view cancel to highlight the amendments
 - o Drawings to be signed by owner and architect
 - o Provide a summary list of all the amendments
 - o State the impact on land use rights and provide:
 - New Covenants
 - New first Easement/Escrow note
 - New minor/major title rules
 - o As discussed in the Design Rules
- The block information to be provided in per the Design Rules
- The NCCP will evaluate the extent of the amendment and clarify whether it is a small, medium or large scale amendment. The NCCP may also deem that the amendments are so such as to warrant a full new submission process must be followed
- Once the NCCP has completed the classification, payment for the scrutiny can be made according to the costs outlined below. Proof of payment must be submitted before the NCCP will commence the scrutiny
- The NCCP will commence to respond to each application within 10 working days from date of submission

Classification

Boundary Wall Amendment: An amendment that is limited to one boundary wall, normally in response to changes to the Design Rules.

Small Amendment: An amendment that has minimal impact on the design. This may include submissions to a previously used, a limited impact on aesthetics etc.

Medium Amendment: An amendment that has an impact on a few elements. This requires a quantity of at least two building elements to meet the impact.

Large Amendment: An amendment that impacts more elements in the building design. Where the MCDF considers that the amendments impact the majority of the design, and which potential to impact all the majority of the elements, the submission will be deemed to be a full submission (major change).

Where a design is rejected, submissions from a single L2 or L3 submission, an additional design that may also come into effect. The MCDF will determine the appropriate actions to be taken.

The submission is made using as the location of the MCDF website located in front of the submission is listed as all items.

Cost

The submission cost for making an amendment that is deemed to be submitted as a full design, based on the complexity of the design. The cost will vary for different submissions, and may be low. These costs will be updated annually or half. This cost is to change a study at the discretion of the MCDF.

Re-Submission on boundary wall amendments	R 1,000.00
Re-Submission on amendments (not approval required)	R 1,500.00
Re-submission on amendments (not approval required)	R 1,000.00
Re-submission on amendments (not approval required)	R 1,000.00
Re-Submission of a complete new design (not approval)	R 10,000.00
Submission exceeding limits per stage	R 4,000.00

General

All amendments submissions will be evaluated according to the latest neighbourhood Local Design Rules. Each year land related submissions will be considered on cost and timing of response. Design will be at its absolute best. All submissions will be reviewed by the MCDF and will be approved. Submissions will be reviewed by the MCDF and will be approved. Submissions will be reviewed by the MCDF and will be approved.

Account A.



Address: 123 Main Street
Boston, MA 02101

Phone: 617-555-1234

ADMINISTRATOR TO TRUST - AMENDMENTS

AMOUNT	DATE	DESCRIPTION
		<p>Trust Agreement</p> <ul style="list-style-type: none">1. Trust established for the benefit of the children of the settlor.2. Trust assets to be held and managed for the benefit of the children.3. Trust income to be paid to the children for their education and maintenance.4. Trust principal to be paid to the children upon their death. <p>Trust Assets</p> <ul style="list-style-type: none">1. Cash: \$1,000,000.002. Stocks: \$500,000.003. Bonds: \$250,000.004. Real Estate: \$250,000.00 <p>Trust Income</p> <ul style="list-style-type: none">1. Dividends: \$10,000.002. Interest: \$5,000.003. Rental Income: \$2,000.004. Capital Gains: \$1,000.00 <p>Trust Expenses</p> <ul style="list-style-type: none">1. Administration: \$1,000.002. Legal Fees: \$2,000.003. Accounting Fees: \$1,500.004. Other: \$500.00 <p>Trust Balance</p> <ul style="list-style-type: none">1. Total Assets: \$1,757,500.002. Total Liabilities: \$0.003. Total Equity: \$1,757,500.00

ADDENDUM F: LANDSCAPE DESIGN RULES